

# DOWNERS GROVE GRADE SCHOOL DISTRICT 58 LESTER ELEMENTARY SCHOOL

236 INDIANAPOLIS AVE  
DOWNERS GROVE, IL 60516



Wight & Company  
wightco.com  
2500 North Frontage Road  
Darien, IL 60561  
P 630.969.7000  
F 630.969.7979

## PROJECT TEAM

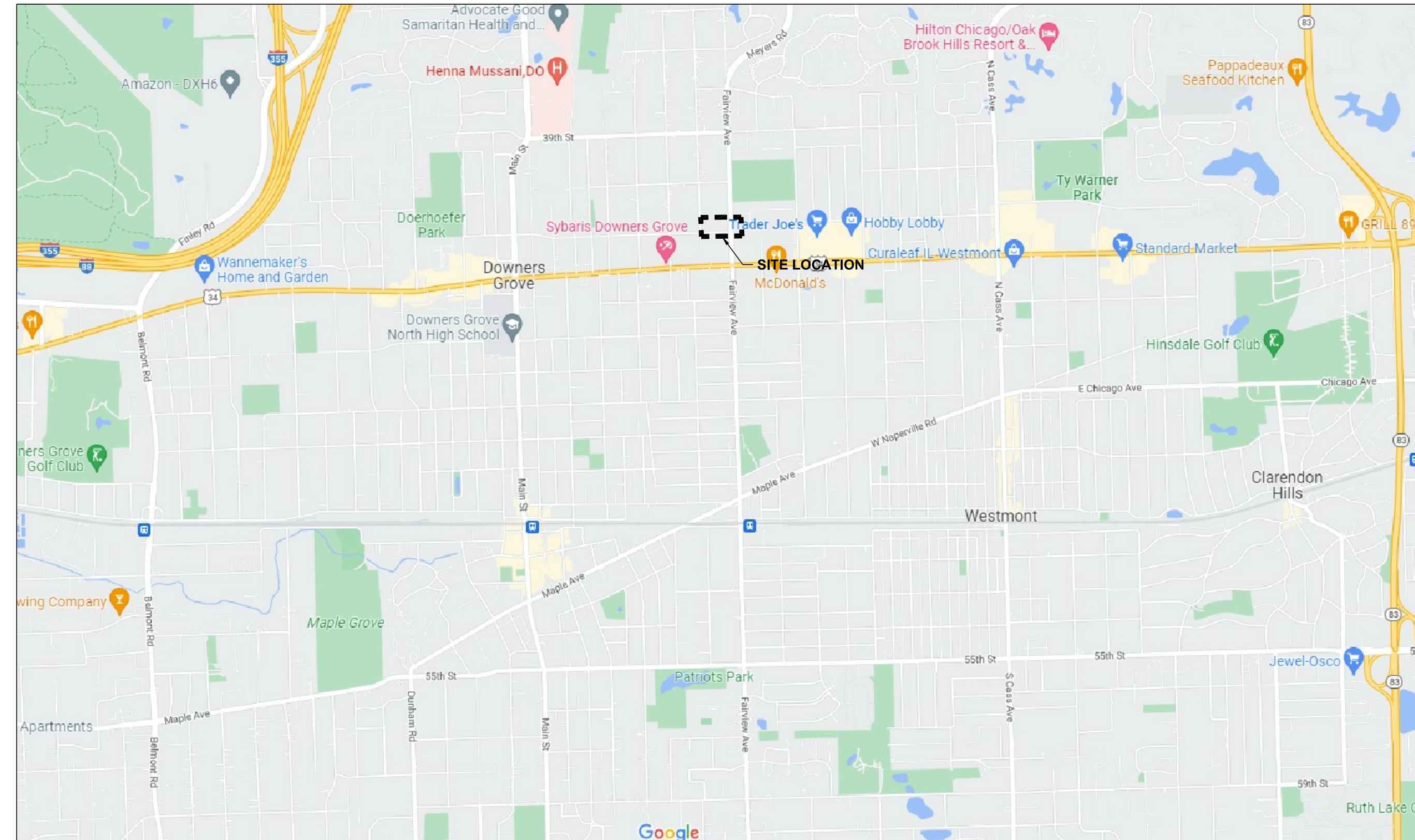
**CLIENT:**  
DOWNERS GROVE SCHOOL  
DISTRICT 58  
1435 PRAIRIE AVENUE  
PHONE: 630-719-5858  
CONTACT: KEVIN BARTO

**CIVIL ENGINEER:**  
WIGHT & COMPANY  
2500 NORTH FRONTAGE ROAD  
DARIEN, IL 60561  
PHONE: (630)969-7000  
FAX: (630)969-7979  
CONTACT: DAVID EVANS  
Design Firm Registration #184-000451

## LANDSCAPE ARCHITECT:

WIGHT & COMPANY  
2500 NORTH FRONTAGE ROAD  
DARIEN, IL 60561  
PHONE: (630)969-7000  
FAX: (630)969-7979  
CONTACT: PATTY KING  
Design Firm Registration #184-000451

## LOCATION MAP



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## UTILITY LOCATE

FOR UNDERGROUND UTILITY  
LOCATIONS, CALL J.U.L.I.E.  
TOLL FREE (800) 892-0123

JULIE SUBURBS & DIGG CHICAGO

- YELLOW \_\_\_\_\_ GAS
- RED \_\_\_\_\_ ELECTRICAL
- ORANGE \_\_\_\_\_ PHONE / TV COMMUNICATION
- BLUE \_\_\_\_\_ WATER
- GREEN \_\_\_\_\_ SEWERS
- WHITE \_\_\_\_\_ SAFE TO DIG

## BENCHMARKS

### REFERENCE:

- (UTILIZED) DUPAGE COUNTY 2006 GEODETIC SURVEY MONUMENT DGN19002 "DOWNERS GROVE SOUTH" (PID MF1251)- STEEL ROD WITH A BERNTSEN LID AND PVS SLEEVE NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF 63RD STREET AND DUNHAM ROAD. STATION IS 145 FEET SOUTH OF THE CENTERLINE OF 63RD STREET AND 42 FEET WEST OF THE CENTERLINE OF DUNHAM ROAD.  
ELEVATION: 745.59 (NAVD 88)
- (NOTED) (UTILIZED) DUPAGE COUNTY 2006 GEODETIC SURVEY MONUMENT DGN19001 "DOWNERS GROVE NORTH " (PID DK3125)- FROM THE INTERSECTION OF ROUTE 34 (OGDEN AVENUE) AND FAIRVIEW AVENUE, PROCEED SOUTH ON FAIRVIEW AVENUE 0.7 MILES TO HUMMER PARK ON THE LEFT, WILSON STREET ON THE RIGHT, AND THE STATION ON THE LEFT. STATION IS LOCATED ALONG FAIRVIEW AVENUE ON THE EAST SIDE OF THE "T" INTERSECTION OF FAIRVIEW AVENUE WITH WILSON STREET. STATION IS 37.0 FT EAST OF THE CENTERLINE OF FAIRVIEW AVENUE, 63.3 FT NORTH OF A BRICK SIDEWALK TO A PARK PAVILION, 11.7 FT NORTHEAST OF A LIGHT POLE, AND 3.5 FT EAST OF A CONCRETE SIDEWALK ALONG FAIRVIEW AVENUE. MONUMENT IS A ROD WITH ACCESS COVER IN CONCRETE WITH NO STAMPING ON COVER  
ELEVATION: 733.22 (NAVD 88)

### SITE:

- CP 1 - MAG NAIL IN CUL-DE-SAC NORTHEAST OF BUILDING. SAID MAG NAIL IS 70± FEET NORTHEAST OF THE NORTHEAST CORNER OF SAID BUILDING AND 133± FEET NORTH WEST OF THE NORTHEAST CORNER OF THE NORTH PARKING LOT.  
ELEVATION: 741.72
- BM 2 - CUT CROSS IN CONCRETE CURB AND GUTTER OPPOSITE CENTER DOORWAY TO ALONG THE EAST FACE OF BUILDING, 55± FEET NORTH OF BASKETBALL HOOP AND 116± FEET NORTHEAST OF THE SOUTHEAST BUILDING CORNER.  
ELEVATION: 740.84
- BM 3 - CUT CROSS IN CONCRETE LIGHTPOLE BASE 6± FEET NORTH OF EDGE OF PAVEMENT AND 59± FEET NORTHWEST OF THE NORTHEAST CORNER OF SOUTH PARKING LOT.  
ELEVATION: 737.51

## ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION.

DATED AT DARIEN, ILLINOIS,  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SIGNED: \_\_\_\_\_  
ENGINEER

EXPIRATION DATE: NOVEMBER 30, 20\_\_\_\_.

ISSUED FOR BID	01/19/23	
ISSUED FOR PERMIT	12/23/22	
REV	DESCRIPTION	DATE

## LESTER ELEMENTARY SCHOOL

236 Indianapolis Avenue  
Downers Grove, IL 60515

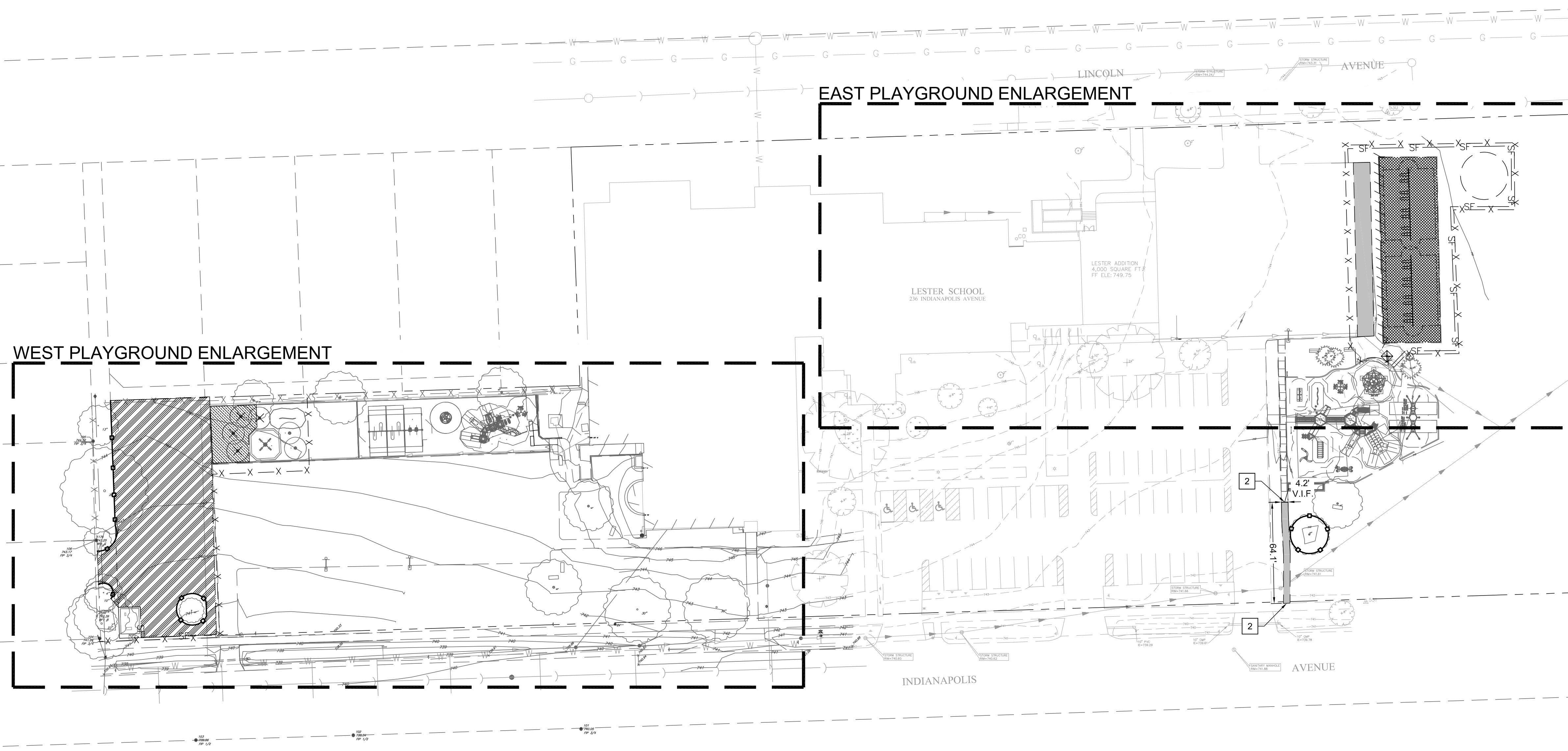
## COVER SHEET

Project Number: 200036  
Scale: \_\_\_\_\_  
Drawn By: LB  
Sheet:

# C0.00



S:\Darien\Downers Grove SD58\200036\_Lester West Playground\01\11 Drawings\02 CD\200036 C1.00 SITE PREPARATION & REMOVALS.dwg Iremitz Jan 19, 2023 9:44:52 am  
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**LEGEND**

- ITEM REMOVAL
- REMOVE HMA AND STONE BASE
- REMOVE PLAY SURFACING AND SUBBASE
- REMOVE 6" OF TOPSOIL AND AMEND. SEE SPECS AND GRADING AND DRAINAGE PLAN
- REMOVE AND STOCKPILE EXISTING EWF AS NEEDED FOR REMOVAL OF PLAY EQUIPMENT
- INLET PROTECTION
- SILT FENCE
- TEMPORARY CONSTRUCTION FENCE
- TREE PROTECTION
- LINEAR ITEM REMOVAL

**DEMO KEY NOTES**

- 1 REMOVE PLAYGROUND EQUIPMENT AND FOUNDATIONS
- 2 SAWCUT

**DEMOLITION NOTES**

1. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES, WHETHER SHOWN ON THE PLANS OR NOT. UNLESS OTHERWISE SPECIFIED, ANY RELOCATION, ADJUSTMENTS, CONFLICTS, ETC. SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. CONTRACTOR TO LOCATE ALL PUBLIC & PRIVATE UTILITIES IN THE RIGHT-OF-WAY AND SITE PRIOR TO CONSTRUCTION.
2. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
3. ALL EXISTING SIGNS & LIGHT POLES TO REMAIN AND BE PROTECTED UNLESS OTHERWISE SPECIFIED. ANY SIGNS REMOVED SHALL BE SALVAGED AND RELOCATED OR RETURNED TO OWNER.
4. ANY UTILITY ADJUSTMENTS, CONFLICTS, RELOCATIONS, ETC. REQUIRED SHALL BE COORDINATED WITH ENGINEER AND UTILITY OWNER/PROVIDER.
5. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE SPECIFIED. ANY DAMAGE TO TREES WITHIN THE VILLAGE RIGHT-OF-WAY AS A RESULT OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO ADDRESS AT THE DIRECTION OF THE VILLAGE FORESTER.
6. ALL DEMOLITION AND CONSTRUCTION IN THE RIGHT-OF-WAY SHALL BE COORDINATED AND APPROVED BY THE VILLAGE OF DOWNERS GROVE. THE CONTRACTOR IS TO CONTACT THE INSPECTORS AT THE VILLAGE OF DOWNERS GROVE PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL PROTECT ALL EXISTING ELECTRIC SERVICES DURING CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.
8. ALL EXISTING SHRUBS AND LANDSCAPING IN CONFLICT WITH SITE IMPROVEMENTS SHALL BE REMOVED.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED PUBLIC/PRIVATE PROPERTY OR ROADWAY AS A RESULT OF CONSTRUCTION ON THIS SITE. THE RIGHT-OF-WAY MUST BE RESTORED TO EXISTING OR BETTER CONDITION.



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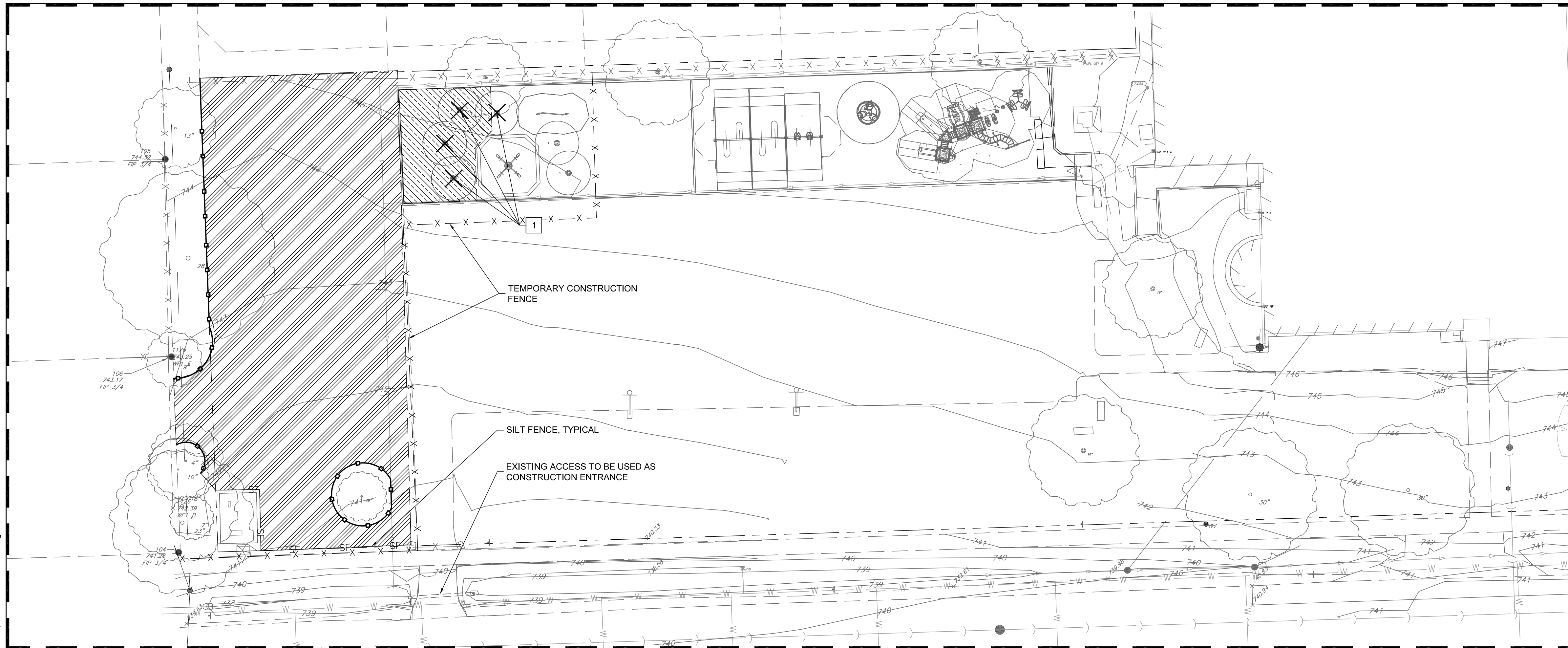
**OVERALL SITE PREPERATION AND REMOVALS PLAN**

Project Number: 200036  
 Drawn By: LB  
 Sheet: 1

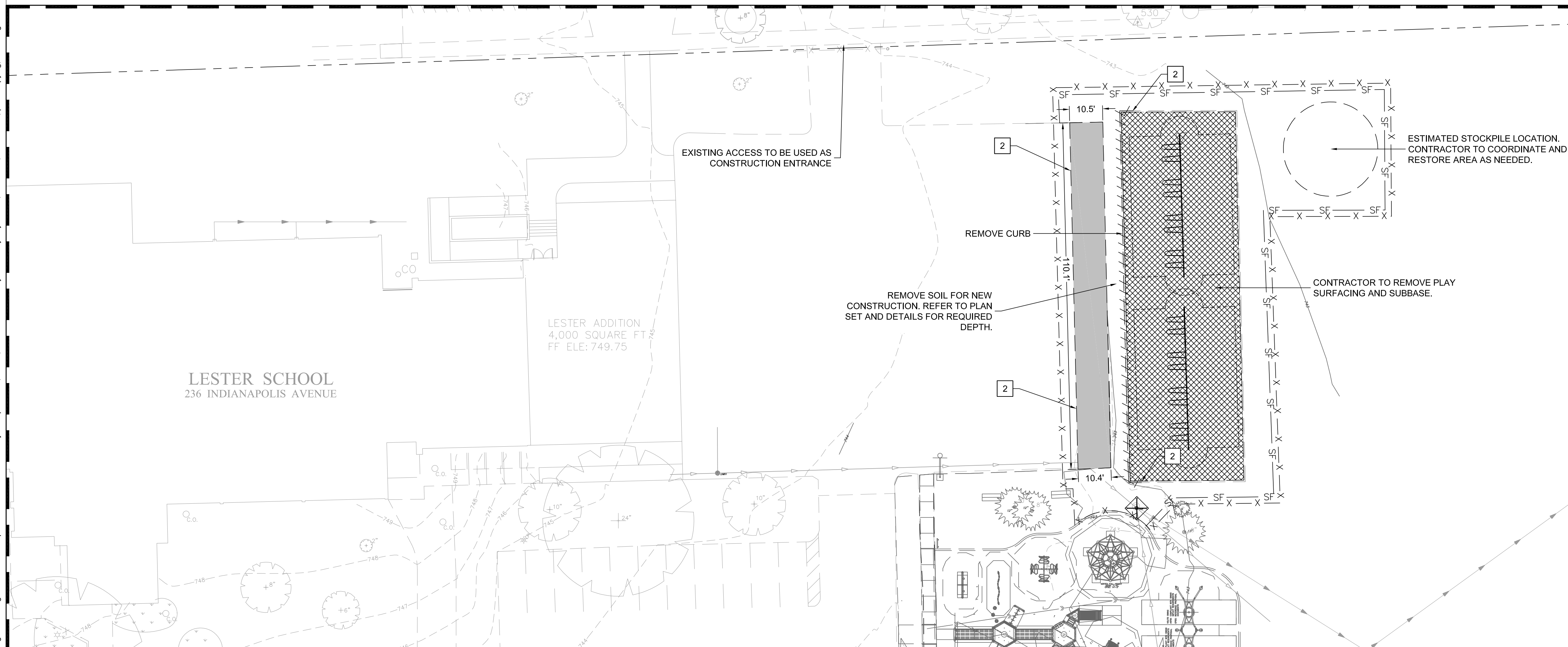
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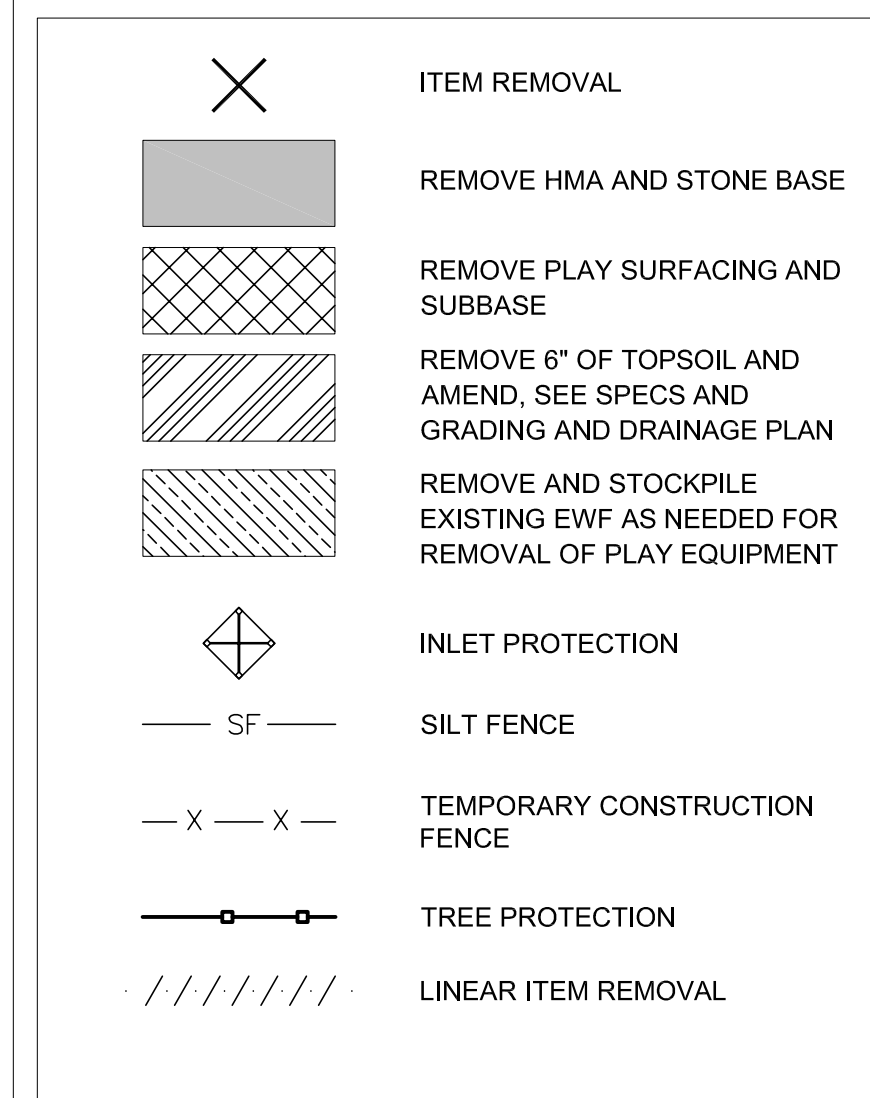


WEST PLAYGROUND ENLARGEMENT



EAST PLAYGROUND ENLARGEMENT

**LEGEND**

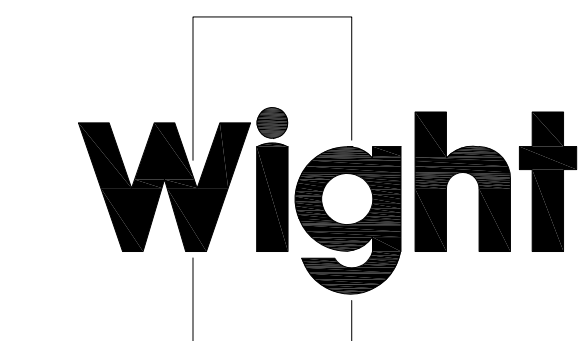


**DEMO KEY NOTES**

- 1 REMOVE PLAYGROUND EQUIPMENT AND FOUNDATIONS
- 2 SAWCUT

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8. ALL EXISTING SHRUBS AND LANDSCAPING IN CONFLICT WITH SITE IMPROVEMENTS SHALL BE REMOVED.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED PUBLIC/PRIVATE PROPERTY OR ROADWAY AS A RESULT OF CONSTRUCTION ON THIS SITE. THE RIGHT-OF-WAY MUST BE RESTORED TO EXISTING OR BETTER CONDITION.



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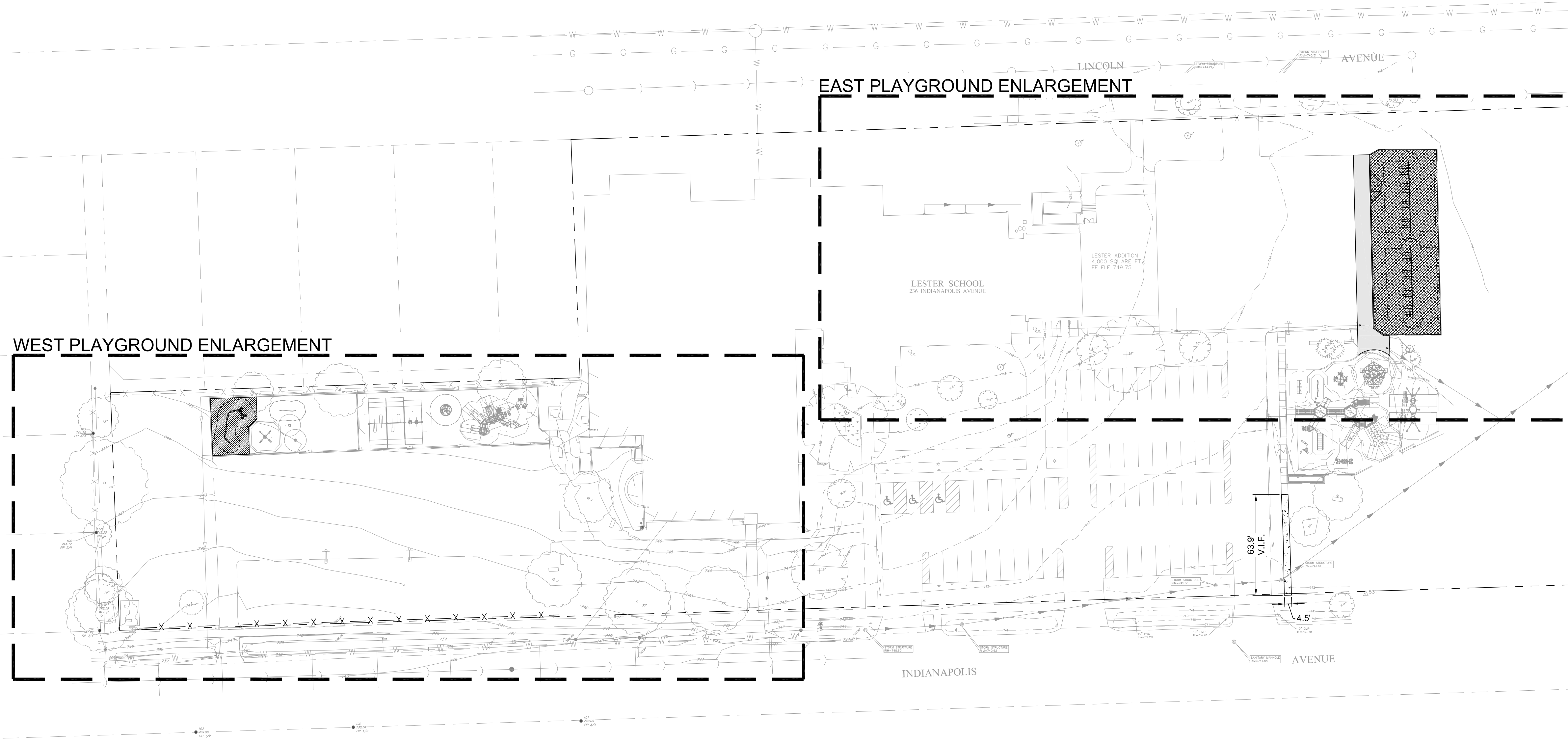
**SITE PREPARATION AND REMOVALS ENLARGEMENTS**

Project Number: 200036 Scale: 1" = 20'  
 Drawn By: LB  
 Sheet:


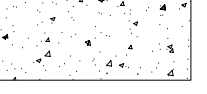
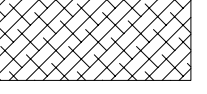

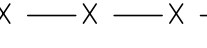
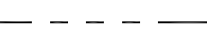


**C1.01**

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**LEGEND**

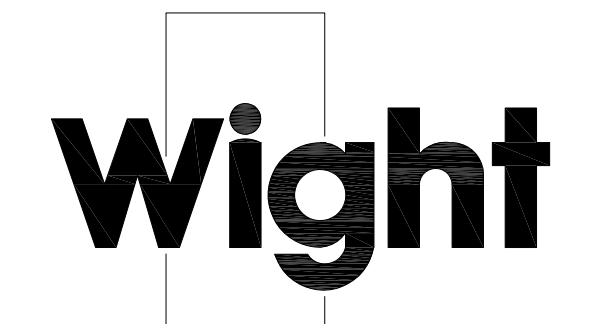
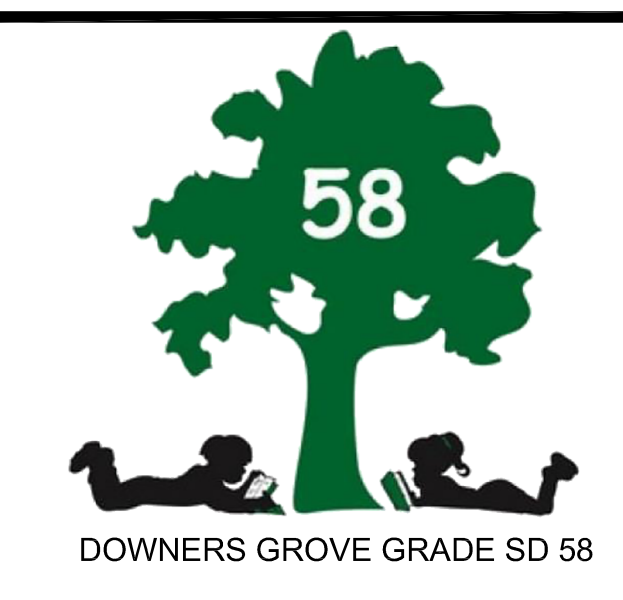
-  HMA PAVEMENT - VEHICULAR
-  PCC SIDEWALK AND STONE BASE
-  PLAY SURFACING - ENGINEERED WOOD FIBER MULCH
-  REINSTALLED ENGINEERED WOOD FIBER MULCH
-  4' ORNAMENTAL FENCE
-  PROPERTY LINE

**KEY NOTES**

- 1 PLAYGROUND RAMP
- 2 PLAYGROUND CURB
- 3 PLAYGROUND STRUCTURE, PLAY EQUIPMENT PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR.

**SITE PLAN AND LAYOUT NOTES**

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTMENT NECESSARY TO CONSTRUCT THE WORK AS DRAWN.
2. CONTRACTOR SHALL OBTAIN APPROVAL OF LAYOUT FROM THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. NO ADDITIONAL PAYMENT SHALL BE MADE TO CORRECT WORK IF CONSTRUCTED INCORRECTLY PRIOR TO APPROVAL OF LAYOUT.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL LAYOUT MARKINGS. NO ADDITIONAL PAYMENT WILL BE MADE TO REPLACE MARKINGS.
4. ALL DIMENSIONS, CURB RADII, AND ELEVATIONS REFER TO THE BACK OF CURB WHERE CURB SHOWN UNLESS OTHERWISE SHOWN. ALL WALL DIMENSIONS ARE TO THE FACE OF WALL UNLESS OTHERWISE SHOWN. ALL PAVEMENT DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. COORDINATES ARE TO THE BACK OF CURB, CENTER OF STRUCTURE, OR AS SHOWN.
5. ALL RADII SHALL BE SMOOTH AND CONTINUOUS AND NOT SEGMENTED. CONTRACTOR TO PROVIDE STAKES A MINIMUM OF EVERY 10 FEET WHERE RADIUS POINTS ARE NOT ACCESSIBLE.
6. ADJUSTMENTS TO STAKE LOCATIONS DUE TO DISCREPANCIES BETWEEN COORDINATES AND DIMENSIONS ARE CONSIDERED INCIDENTAL TO THE WORK.
7. CONTRACTOR RESPONSIBLE TO TAKE DELIVERY, VERIFY CONDITION AND COMPLETENESS, ASSEMBLE AND INSTALL ALL MATERIALS AND FURNISHINGS PER MANUFACTURER'S INSTRUCTIONS.
8. PLACE CONTROL AND EXPANSION JOINTS WHERE INDICATED ON PLANS AND DETAILS FOR CONCRETE WORK. WHERE JOINTS ARE NOT SHOWN, PLACE CONTROL JOINTS IN SPACING TO MATCH PAVEMENT WIDTH OR MAXIMUM OF 10 FEET ON CENTER. EXPANSION JOINTS SHALL BE A MAXIMUM OF 30 FEET ON CENTER AND BETWEEN ALL POURS AND EXISTING CONCRETE OR WALLS.
9. ANY CHANGE TO THE SITE PLAN DURING DESIGN OR IN FIELD DURING CONSTRUCTION MUST BE SUBMITTED IN WRITING TO THE ENGINEER AND VILLAGE OF DOWNERS GROVE.
10. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.
11. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.



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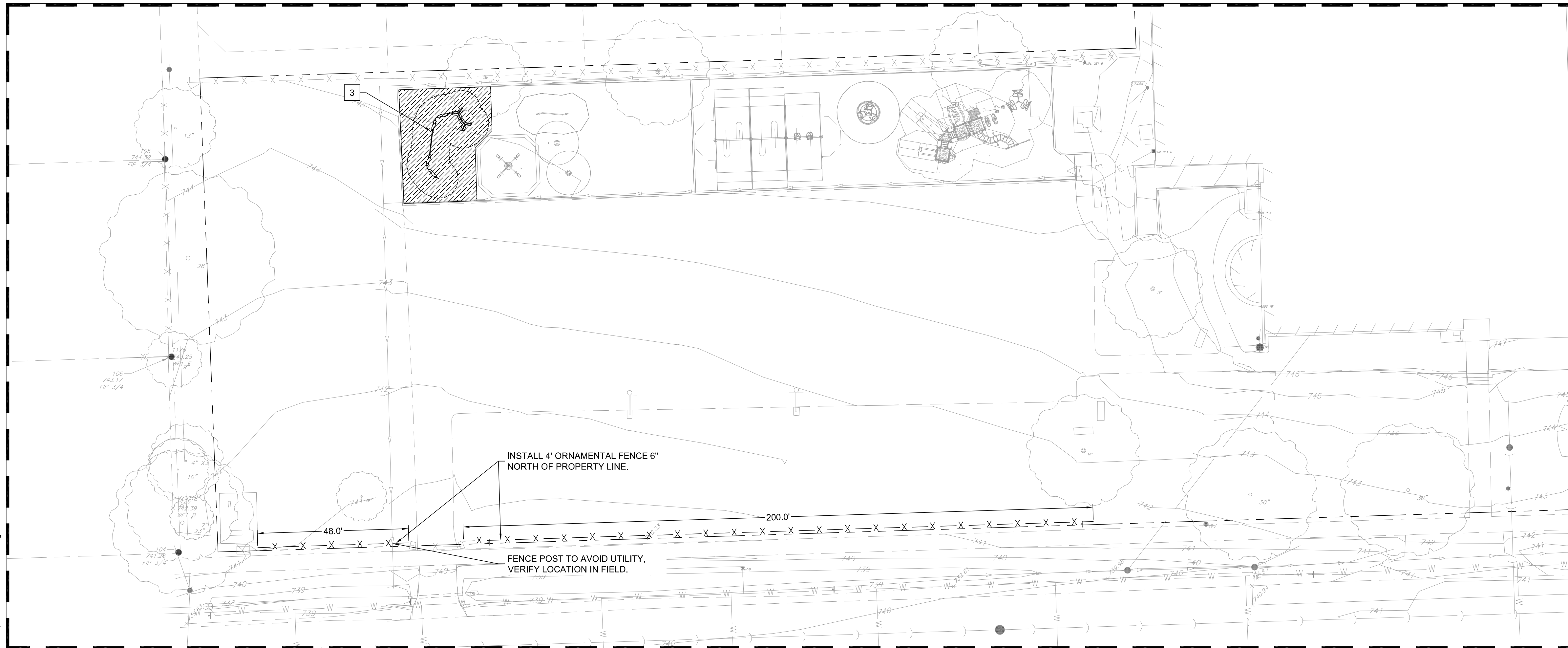
**OVERALL SITE PLAN**

Project Number: 200036  
 Drawn By: LB  
 Sheet: C2.00

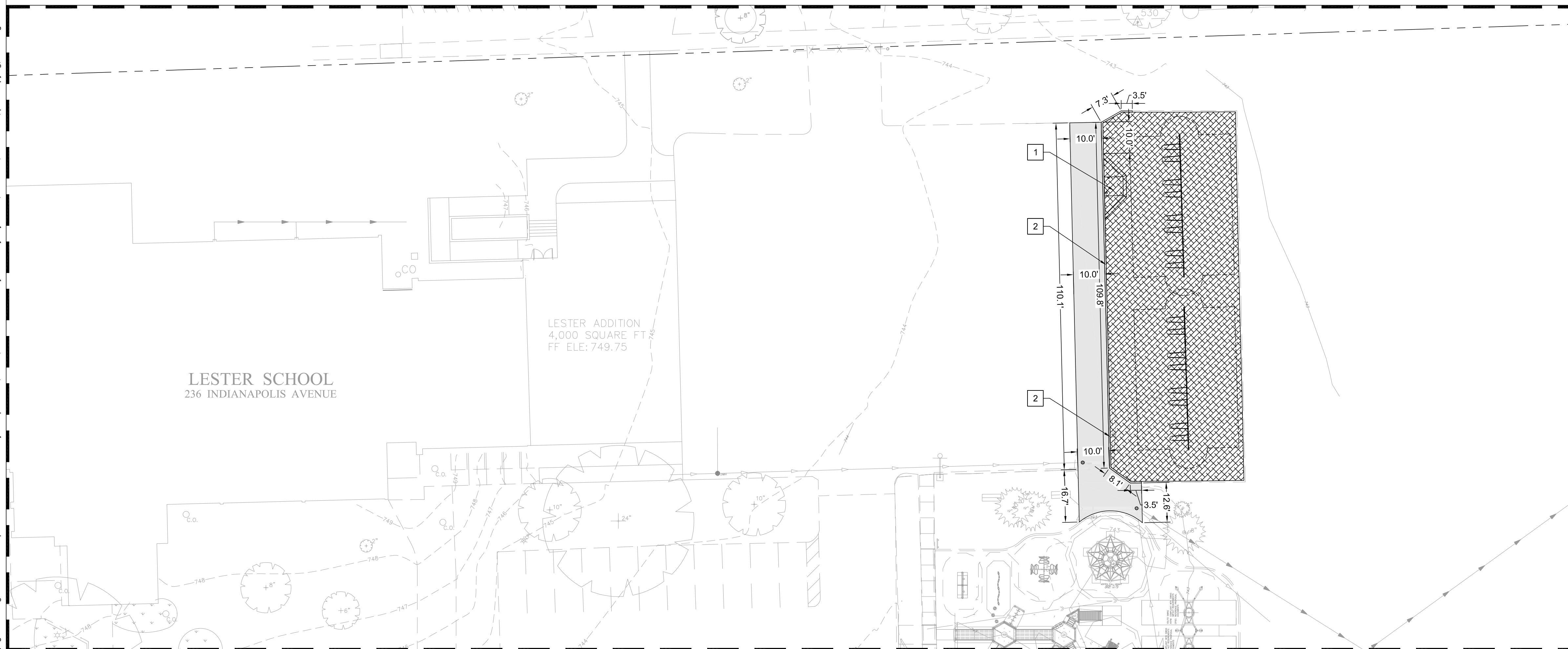
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 NORTH

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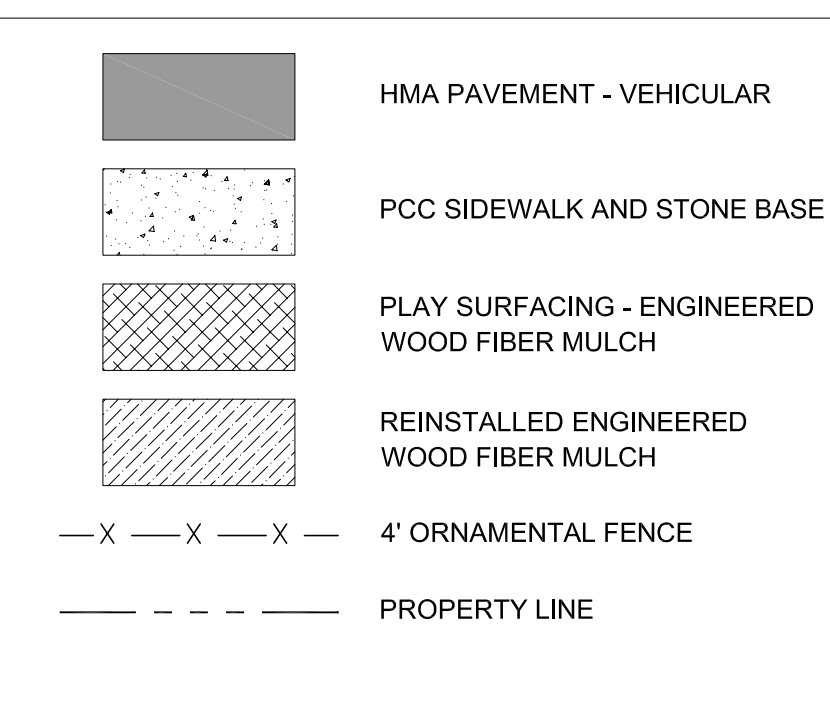


WEST PLAYGROUND ENLARGEMENT



EAST PLAYGROUND ENLARGEMENT

**LEGEND**

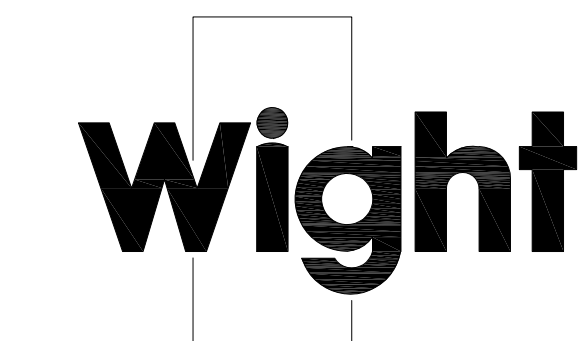


**KEY NOTES**

- 1 PLAYGROUND RAMP
- 2 PLAYGROUND CURB
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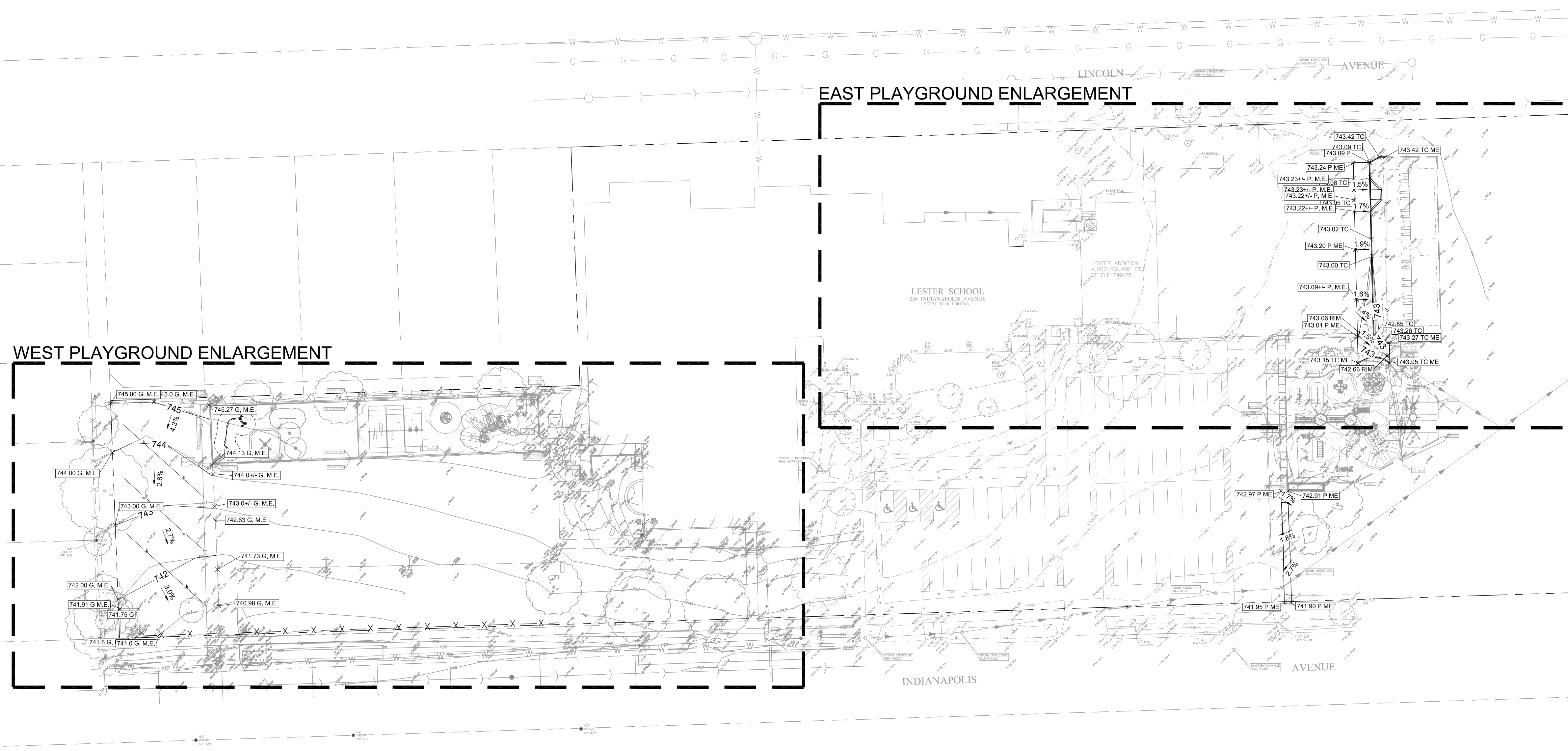
**SITE PLAN ENLARGEMENTS**

Project Number: 200036  
 Drawn By: LB  
 Sheet: C2.01

Scale: 1" = 20'  
 0' 10' 20' 40'

NORTH

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**LEGEND**

ME	MATCH EXISTING ELEVATION
HP	HIGH POINT
11.77 P	TOP OF PAVEMENT ELEVATION
11.77 G	GROUND ELEVATION
11.77 SW	TOP OF SIDEWALK ELEVATION
11.77 RM	RIM ELEVATION
11.77 PS	PLAY SURFACE
745	EXISTING CONTOUR LINE
745	PROPOSED CONTOUR LINE
2.0%	SLOPE/FLOW DIRECTION
→	STORM SEWER
→	UNDERDRAIN
●	OPEN LID STORM CATCH BASIN
○	CLOSE LID MANHOLE
●	CLEANOUT
◇	INLET PROTECTION
— SF —	SILT FENCE

**GRADING NOTES**

- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/DISCREPANCIES.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
- ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND WITH THE AMERICANS WITH DISABILITIES ACT.
- SLOPES BETWEEN SPOT ELEVATIONS ON PATHWAYS SHALL BE CONSISTENT.
- MAXIMUM SLOPE ON ALL PAVED SURFACES IS 1:20 (5%). RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
- ALL SURFACES SHALL BE GRADED FOR POSITIVE DRAINAGE. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2% IN DIRECTION INDICATED. IF NO DIRECTION IS INDICATED, GRADE FOR POSITIVE DRAINAGE AWAY FROM WALLS, COLUMNS, STEPS, AND STRUCTURES.
- ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. AVOID EXCESSIVE FILL IN CRITICAL ROOT ZONES. SEE SPECIFICATIONS. FEATHER NEWLY GRADED AREAS INTO EXISTING GRADE.
- TOPSOIL IN AREAS DESIGNATED FOR PAVING SHALL BE STRIPPED AND RESPADE IN ACCORDANCE WITH GRADING PLAN. HAUL OFF SITE AND LEGALLY DISPOSE OF UNSUITABLE OR EXCESS EXCAVATED MATERIAL.
- TOPSOIL IN AREAS OF NEWLY CREATED BERMS SHALL BE STRIPPED AND STOCKPILED. CONSTRUCT BERM USING ON SITE FILL MATERIAL OR IMPORTED MATERIAL AS DIRECTED. RESPADE TOPSOIL IN ACCORDANCE WITH GRADING PLAN AND SPECIFICATIONS.
- TOPSOIL SHALL BE IMPORTED AS NEEDED AND SPREAD AT SPECIFIED DEPTHS TO ACHIEVE FINAL GRADE. GRANULAR FILL WILL NOT BE ACCEPTED UNDER TURF OR PLANTING AREAS.
- PROMPTLY NOTIFY OWNER'S REPRESENTATIVE IS UNSATISFACTORY SUB-GRADE MATERIALS ARE DISCOVERED.
- OBTAIN LANDSCAPE ARCHITECT'S REVIEW OF FINE GRADING PRIOR TO SEEDING OPERATIONS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL CONDITIONS, STANDARDS, AND NOTES.
- ANY SOIL STOCKPILES SHALL BE PROTECTED WITH DOUBLE ROW OF SILT FENCE COIR ROLL AROUND PERIMETER.
- ANY DAMAGE TO TREES WITHIN THE VILLAGE RIGHT OF WAY AS A RESULT OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO ADDRESS AT THE DIRECTION OF THE VILLAGE FORESTER.
- A FINAL GRADING SURVEY IS REQUIRED AT THE COMPLETION OF THE PROJECT, INCLUDING AN ELECTRONIC COPY. IT SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS:
  - ALL NEW IMPERVIOUS AREAS INCLUDING THOSE MADE OF CONCRETE, ASPHALT, AND BRICK PAVER.
  - AS-BUILT LOCATION AND AS-BUILT VOLUME OF ANY PCBMP.



DOWNERS GROVE GRADE SD 58



Wight & Company  
wightco.com

2500 North Frontage Road  
Darien, IL 60561

P 630.969.7000  
F 630.969.7979

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REV	DESCRIPTION	DATE

**LESTER  
ELEMENTARY  
SCHOOL**

236 Indianapolis Avenue  
Downers Grove, IL 60515

**OVERALL GRADING AND  
DRAINAGE PLAN**

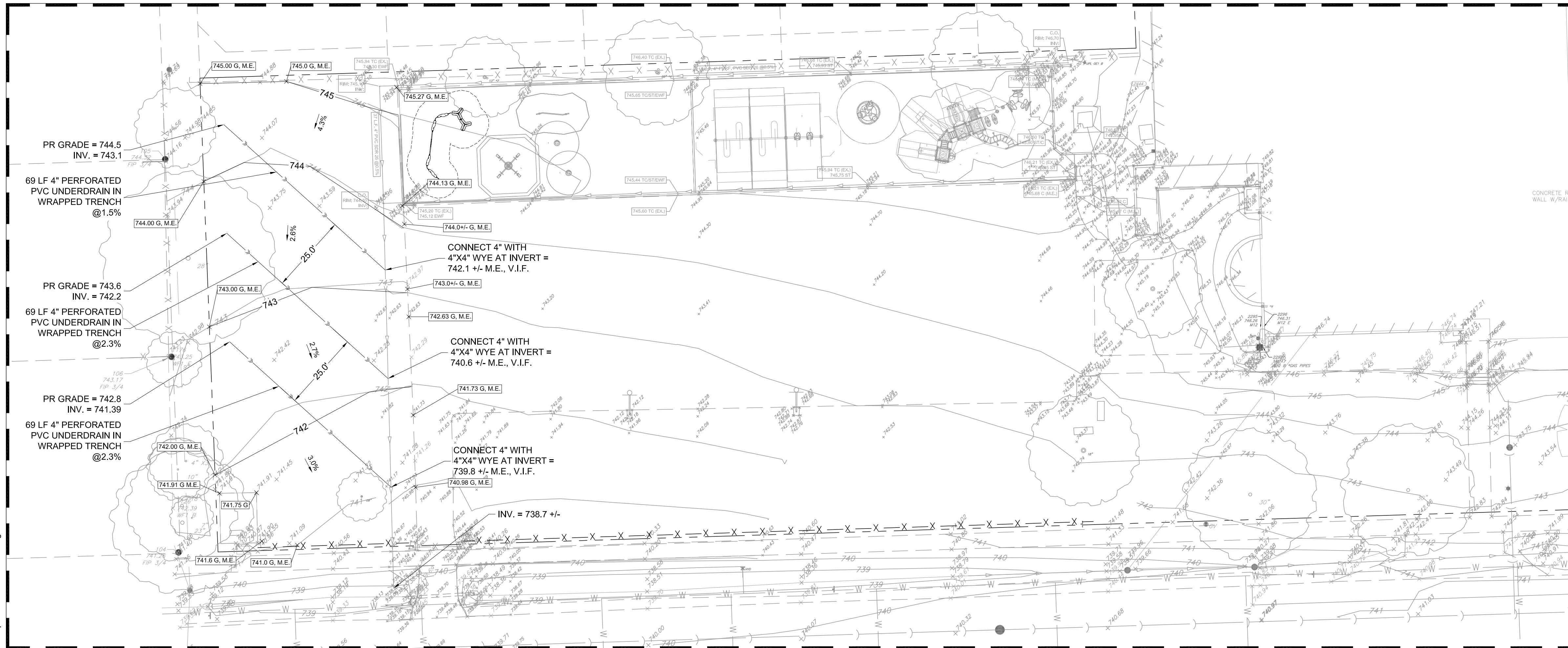
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 Drawn By: LB

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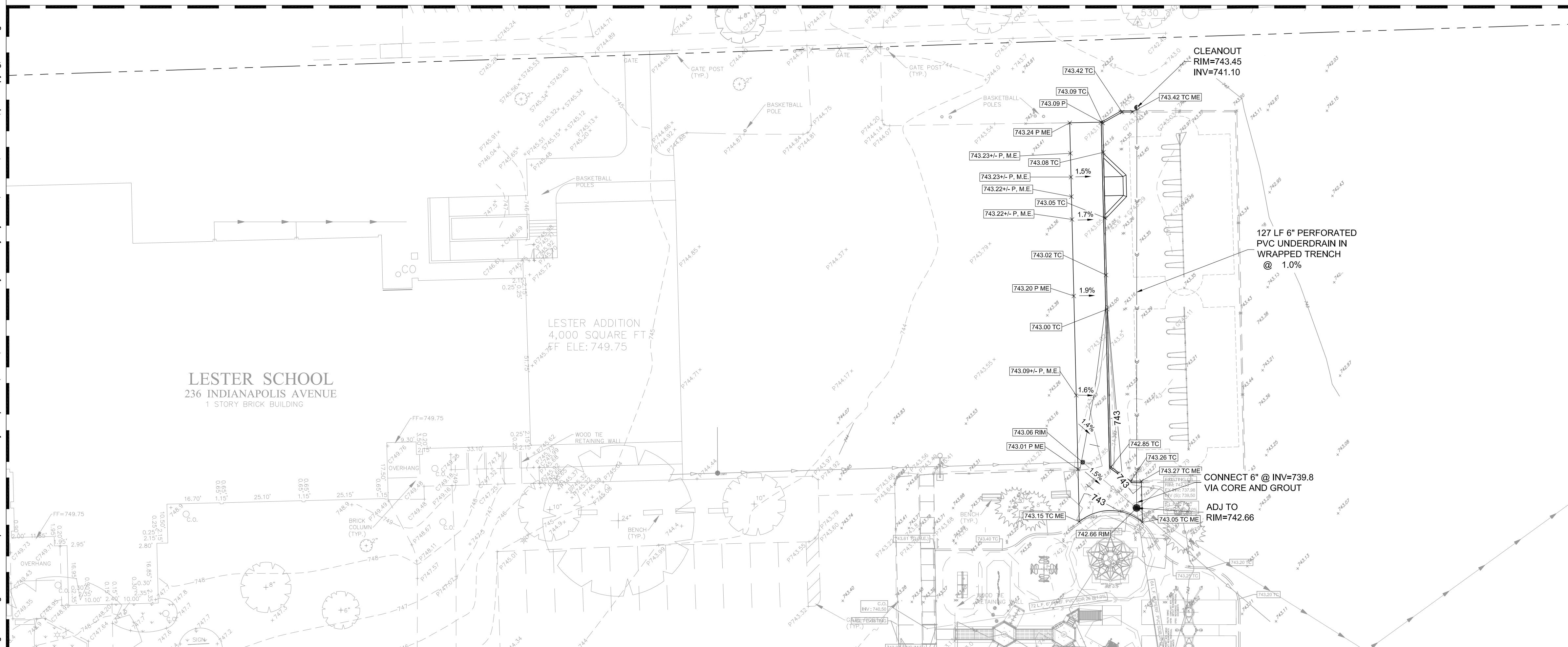


**C3.00**

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WEST PLAYGROUND ENLARGEMENT



EAST PLAYGROUND ENLARGEMENT

**LEGEND**

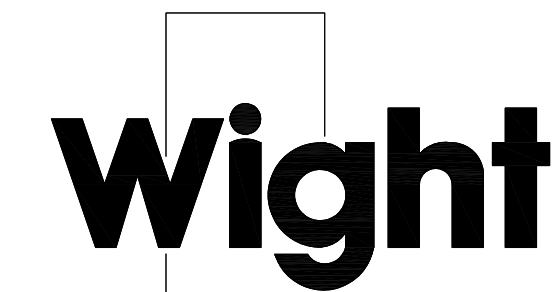
ME	MATCH EXISTING ELEVATION
HP	HIGH POINT
11.77 P	TOP OF PAVEMENT ELEVATION
11.77 G	GROUND ELEVATION
11.77 SW	TOP OF SIDEWALK ELEVATION
11.77 RM	RIM ELEVATION
11.77 P/S	PLAY SURFACE
745	EXISTING CONTOUR LINE
745	PROPOSED CONTOUR LINE
2.0%	SLOPE/FLOW DIRECTION
→	STORM SEWER
→	UNDERDRAIN
●	OPEN LID STORM CATCH BASIN
○	CLOSE LID MANHOLE
●	CLEANOUT
◇	INLET PROTECTION
SF	SILT FENCE

**GRADING NOTES**

- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/DISCREPANCIES.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
- ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND WITH THE AMERICANS WITH DISABILITIES ACT.
- SLOPES BETWEEN SPOT ELEVATIONS ON PATHWAYS SHALL BE CONSISTENT.
- MAXIMUM SLOPE ON ALL PAVED SURFACES IS 1:20 (5%). RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
- ALL SURFACES SHALL BE GRADED FOR POSITIVE DRAINAGE. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2% IN DIRECTION INDICATED. IF NO DIRECTION IS INDICATED, GRADE FOR POSITIVE DRAINAGE AWAY FROM WALLS, COLUMNS, STEPS, AND STRUCTURES.
- ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- AVOID EXCESSIVE FILL IN CRITICAL ROOT ZONES. SEE SPECIFICATIONS. FEATHER NEWLY GRADED AREAS INTO EXISTING GRADE.
- TOPSOIL IN AREAS DESIGNATED FOR PAVING SHALL BE STRIPPED AND RESPAID IN ACCORDANCE WITH GRADING PLAN. HAUL OFF SITE AND LEGALLY DISPOSE OF UNSUITABLE OR EXCESS EXCAVATED MATERIAL.
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**LESTER ELEMENTARY SCHOOL**

236 Indianapolis Avenue  
Downers Grove, IL 60515

**GRADING AND DRAINAGE PLAN ENLARGEMENTS**

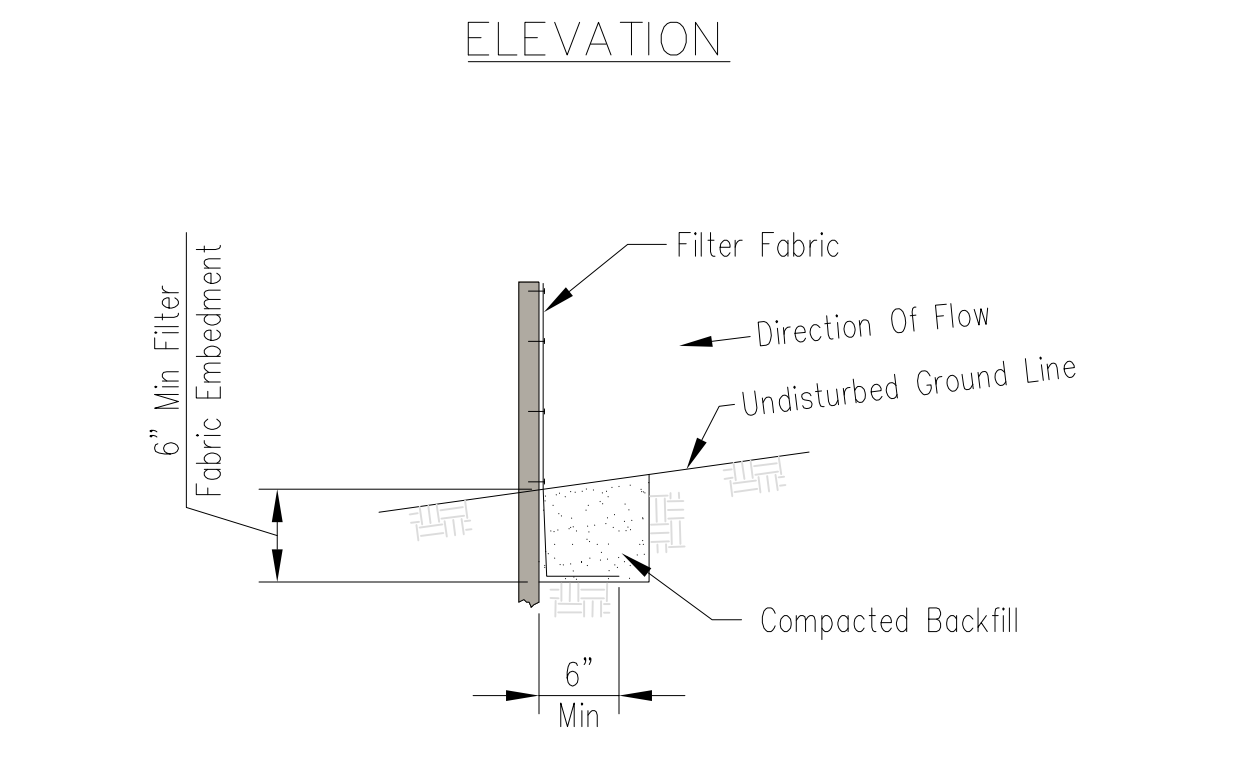
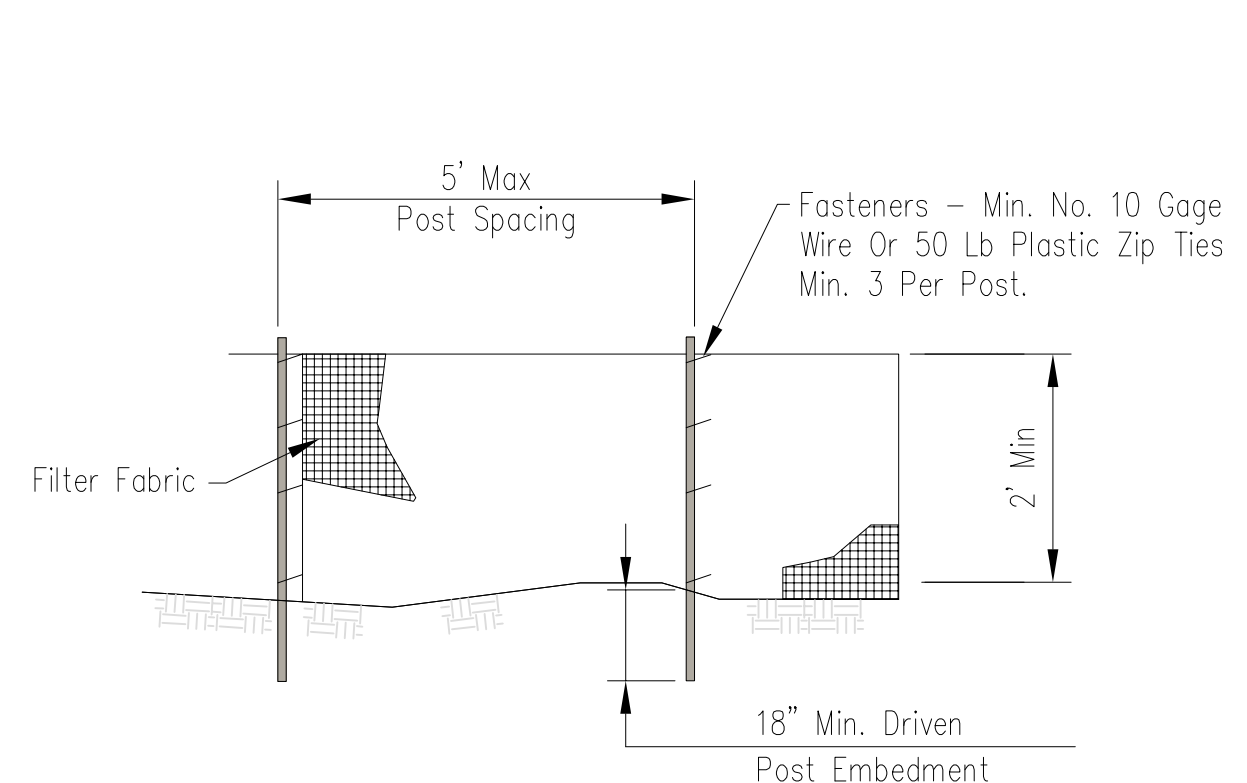
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 Drawn By: LB  
 Sheet: C3.01



**C3.01**

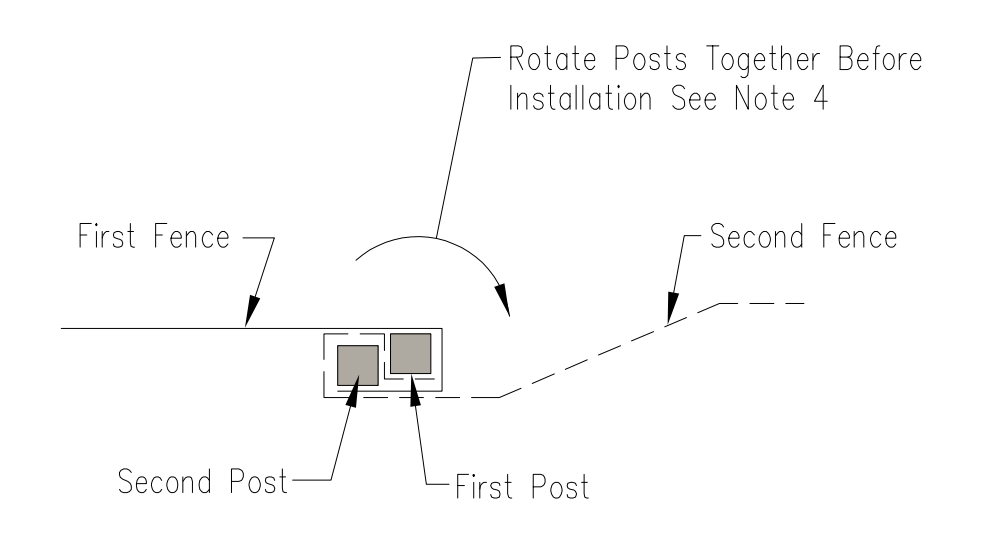


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**NOTES:**

1. Temporary silt fence shall be installed prior to any grading work in the area to be protected. Fence shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
3. Fence posts shall be either wood post with a minimum cross-sectional area of 1.5" X 1.5" or a standard steel post.
4. When splices are necessary make splice at post according to splice detail. Place the end post of the second fence inside the end post of the first fence. Rotate both posts together at least 180 degrees to create a tight seal with the fabric material. Cut the fabric near the bottom of the posts to accommodate the 6 inch flap. Then drive both posts and bury the flap. Compact backfill well.



1 SILT FENCE  
SCALE: NTS

Municipal Codes regarding trees, including tree protection requirements for public parkway trees, are located in Chapter 24 of the Downers Grove Municipal Code <http://www.downers.us/code/chapters/24>. Parkway tree protection shall involve avoiding damage to both the above ground tree trunk, including the branches, and the below ground root system. Roots are the most vital part of a tree with the majority of nutrient and water absorbing roots in the upper 18 to 24 inches of soil. Tree roots must be protected from severing or changes in their soil environment (such as compaction or grade changes) to prevent irreversible tree decline or death in the coming years.

The Critical Root Zone, or CRZ, is the area immediately surrounding a tree that needs to be protected from damage. The size of this area, measured from the center of the tree, is ideally a circle with a radius of one foot for each inch of trunk diameter. The depth of the CRZ extends to 4 feet below the natural ground surface level. In a municipal parkway setting with utilities and paved or concrete surfaces, the CRZ cannot always be the ideal size. Instead, the CRZ has been adjusted to form a rectangle around the parkway tree trunk with the minimum dimensions listed in the following table. At a minimum, the listed CRZ shall be fenced with a 6 foot high temporary chain link construction fence secured to metal posts spaced no further than 10 feet apart. Whenever possible, the entire parkway shall be fenced in except where access has been permitted. Any exceptions shall be noted on the drawings submitted for a given permit.

PARKWAY TREE DIAMETER AT 4.5' - 12.0 INCHES	WIDTH FROM STREET TO PROPERTY - (MINIMUM CURB TO SIDEWALK)	STREET (MINIMUM)	LENGTH ALONG	DEPTH
0-12.0 INCHES	10.0 FEET	10 FEET	4 FEET	4 FEET
12.1-24.0 INCHES	10.0 FEET	20 FEET	4 FEET	4 FEET
24.1 OR MORE INCHES	10.0 FEET	30 FEET	4 FEET	4 FEET

For public parkway trees, roots located within the determined CRZ shall be protected from damage by tree compaction, severing, and the storage of materials or equipment. Utilities must be augered underneath the tree as shown above. In cases when severing of roots within a portion of the CRZ may be unavoidable (ex. sidewalk installation, curb replacement, water main or sanitary main disconnection in the parkway), subject to the approval of the Village Forester, the smallest possible area shall be disturbed and sharp clean cuts shall be made on root ends to promote wound closure and root regeneration. All CRZ fencing shall be a 6 foot high temporary chain link construction fence secured to metal posts spaced no further than 10 feet apart, and shall be maintained daily in good condition. Any exceptions to the fence dimensions or parkway position shall be noted on the permit.

In addition to fines and citations that may be assessed for violations of any Chapter 24 municipal code (such as not maintaining fencing around the CRZ or unauthorized removal of parkway trees), violators may be subject to the following provisions:

- issuance of an invoice for the monetary loss in tree value or partial value due to damage to either the above ground or below ground portions of the parkway tree, or unauthorized tree removal.
- forfeiture of bonds issued for the work should funds be sufficient to cover tree values and fines.
- costs of repairs, such as pruning or cabling, or costs for removal of the damaged parkway tree along with the stump if the tree cannot remain in the right-of-way.
- fines of \$500 for the 1st offense; \$1,000 for the 2nd offense; \$2,500 for 3rd and subsequent offenses.
- each day during which a violation continues shall be construed as a separate and distinct offense.

For more information, contact the Forestry Division at 630-434-5475 or 630-434-5476.

N.T.S.	DATE	REVISIONS	DRAWN BY	APPD BY	STANDARD DETAIL
	02/20/07		J.M.L.	M.D.M.	PARKWAY TREE PROTECTION REQUIREMENTS
	03/25/11		S.A.V.	A.S.S.	
	03/01/15		S.A.V.	A.S.S.	
	01/01/17		N.R.H.	J.M.W.	
	01/01/18		N.R.H.	J.M.W.	

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 LIBRARY\DETAILS\TREES\TRE-01

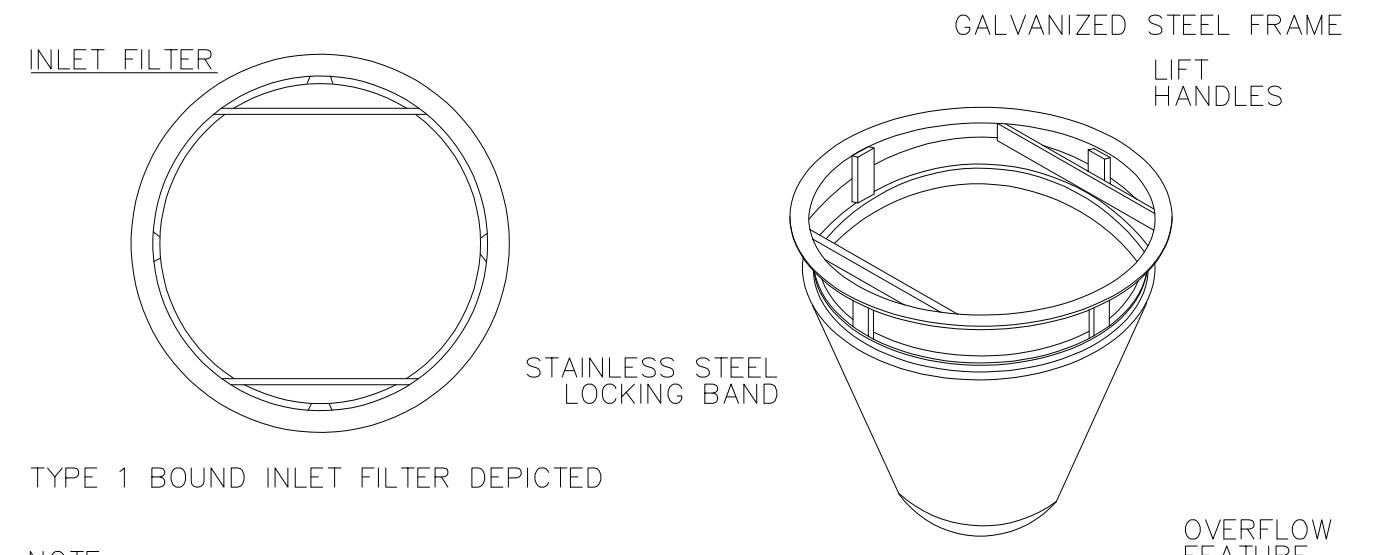
3 TREE PROTECTION FENCING  
SCALE: NTS

Date: \_\_\_\_\_  
 Drawn: M. JENNINGS  
 Checked: \_\_\_\_\_  
 Approved: \_\_\_\_\_

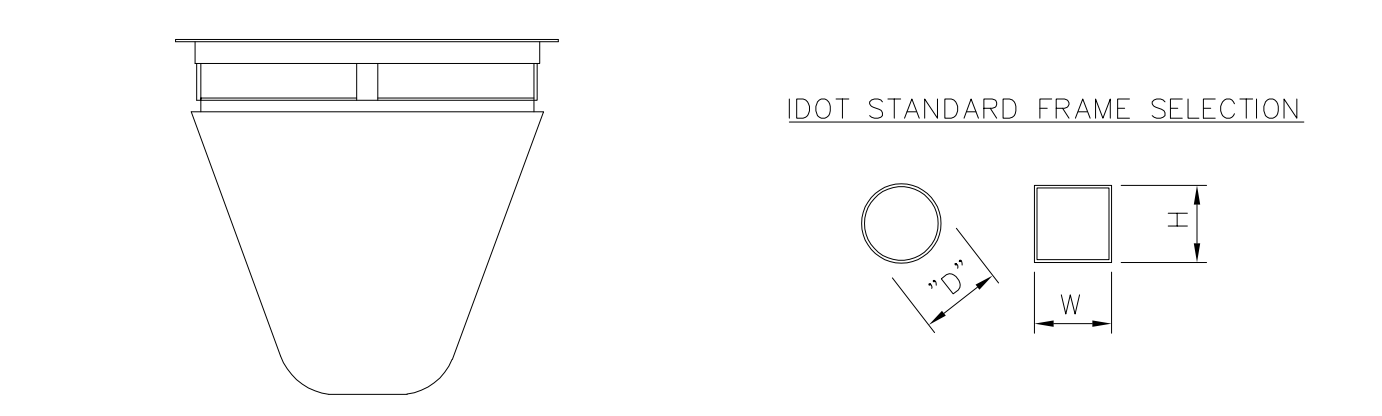
SILT FENCE

United States Department of Agriculture  
 Natural Resources Conservation Service

File No. IL-ENG-49  
 Drawing No. \_\_\_\_\_  
 Page 1 of 1  
 Sheet of \_\_\_\_\_



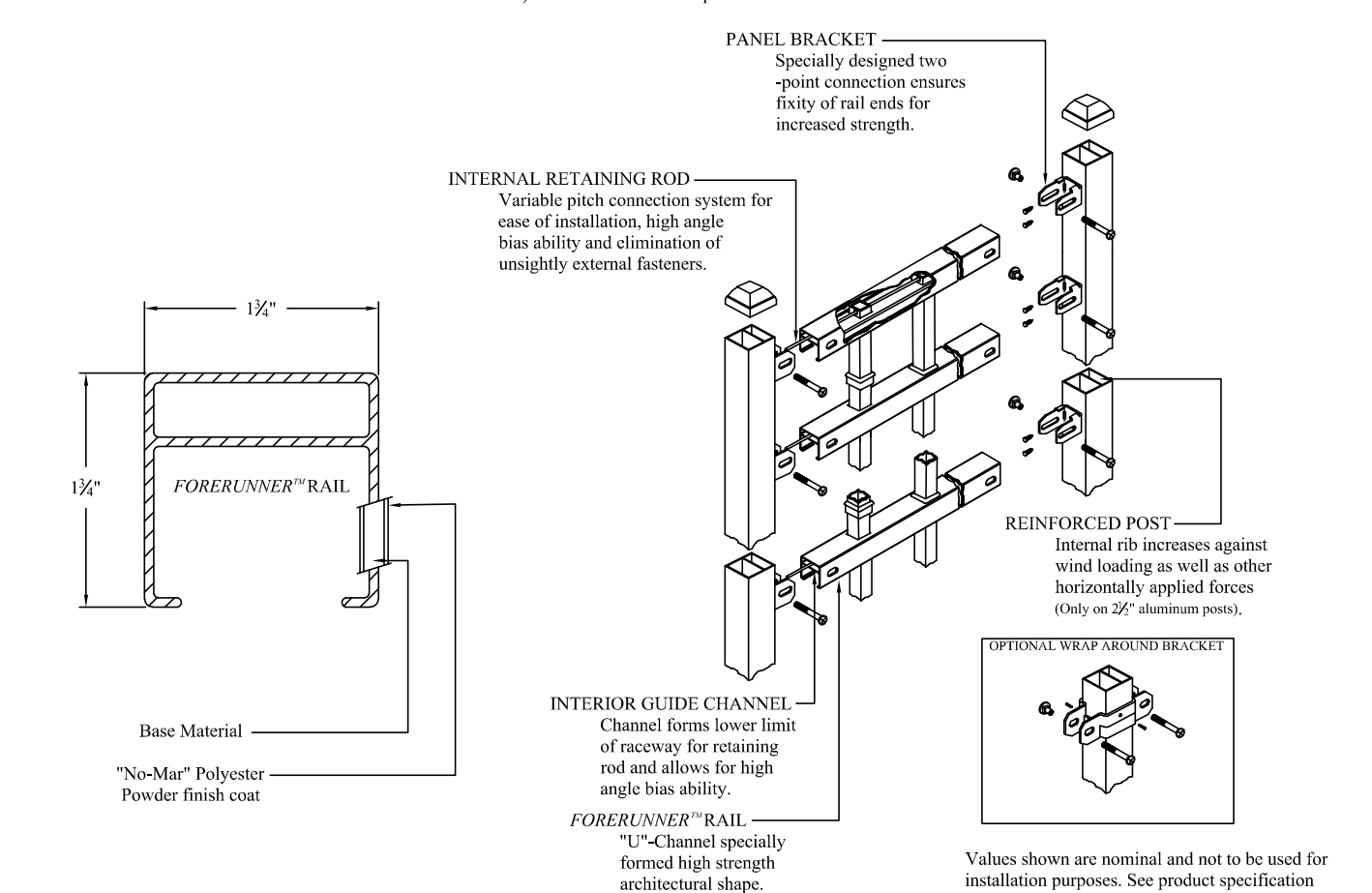
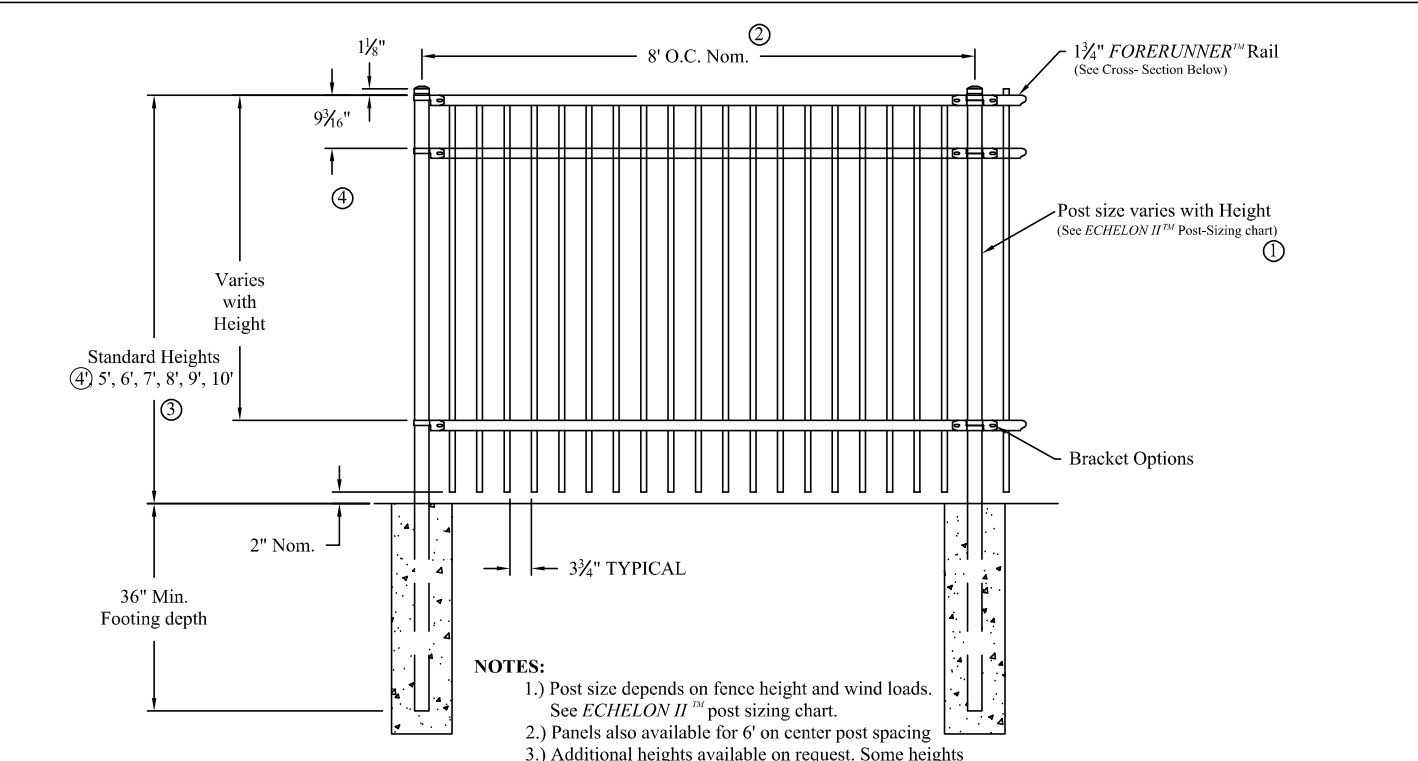
**NOTE:** ROUND AND SQUARE/RECTANGULAR INLET FILTERS AVAILABLE FOR MOST NEENAH AND EAST JORDAN BEEHIVE, ROLL CURB AND CURB BOX FRAME TYPES.



\*\*CERTIFICATION: All IPP INLET FILTERS CONFORM TO IDOT SPECIFICATIONS AS OUTLINED IN ARTICLE 1081.15 OF IDOT'S STANDARDS SPECIFICATIONS GUIDE

IDOT Std	Grate Size	Opening	Filter P/N	Aprox Dims	Notes
Type 1, 5	22.75 dia	23	2200-1	D=22	Round
Type 8	3.5 dia	23 (mhole)	2600-8	D=26.5	Round
Type 3, 3V	22 x 16.9	20 x 15	2116-3CB	W=21, H=16	Curb box, flap
Type 11, 11V	28.75 x 11.38	27 x 9.875	2811-11CB	W=28, H=11	Curb box, flap
Type 6	22 x 22.75	20.25 x 23+	2122-6	W=21, H=22	Rolled curb
Type 12	28.75 x 17.25	27 x 16.5+	2817-12	W=28, H=16	Rolled curb
Type 4	21.75 x 14.75	20 x 13	2114-4	W=21, H=14	Rect flat
Type 20, 21, 22	22.5 x 22.5	20 x 20	2222-20	W=22, H=22	Square flat
Type 23	24 x 16.25	22 x 14.5	2316-23	W=23, H=15	Rect flat
Type 24	24 x 22.5	22 x 20.5	2322-24	W=23, H=22	Rect flat

2 DROP INLET PROTECTION FOR STRUCTURES IN IMPERVIOUS AREAS ONLY  
SCALE: NTS



**INDUSTRIAL STRENGTH ALUMINUM**

ECHOLON II MAJESTIC 2 3/4 RAIL		AMERISTAR		1555 N. Mingo	
DR. N1B	SH. 1 of 1	SCALE: DO NOT SCALE		Tulsa, OK 74116	
CK: BS	Date 2-07-12	REV: e		1-888-333-3422	
			www.ameristar-fence.com		

**NOTES:**

1. WIDTH OF POST FOUNDATIONS TO BE 4 x POST SIZE DIAMETER.
2. FENCE TO BE 4' IN HEIGHT WITH 3-RAIL.

4 4' ORNAMENTAL FENCE  
SCALE: 1/2"=1'-0"



**Wight**

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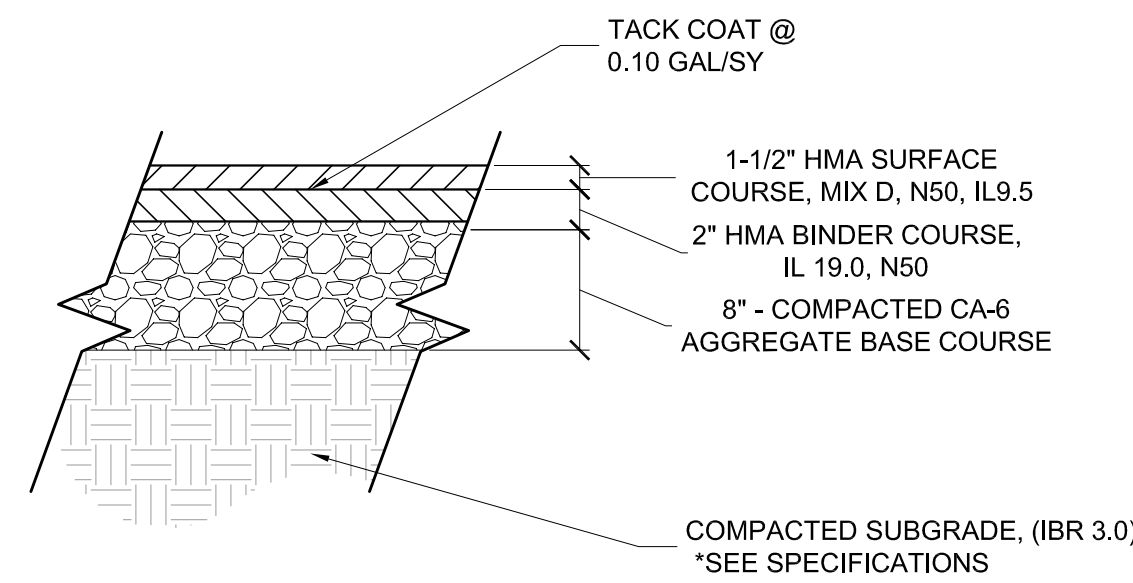
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Project Number: 200036  
 Scale:

Drawn By: LB  
 Sheet:

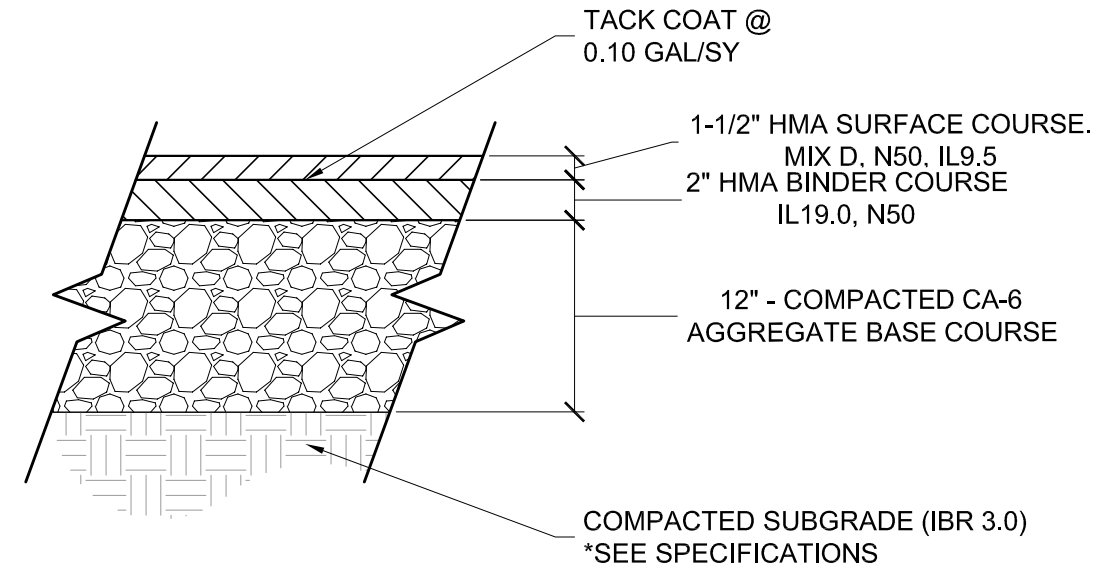
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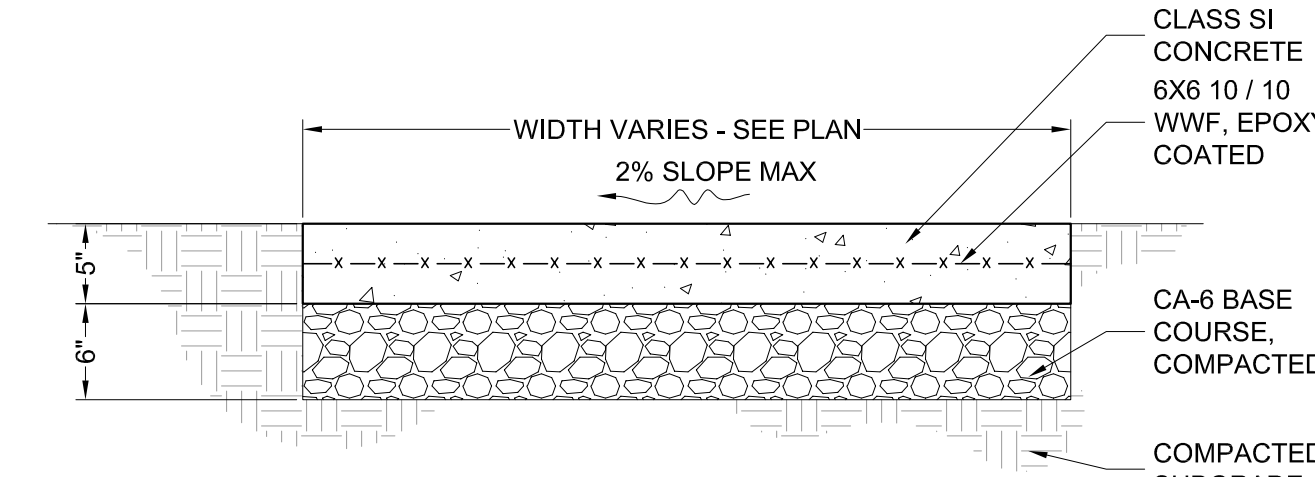
NOTES:  
 1. FOR UNSUITABLE SUBGRADES UNDERCUT PER GEOTECHNICAL'S / ENGINEER'S RECOMMENDATION (2 FOOT MAXIMUM)

1 HMA PAVEMENT - PEDESTRIAN  
 SCALE: 1" = 1'-0"



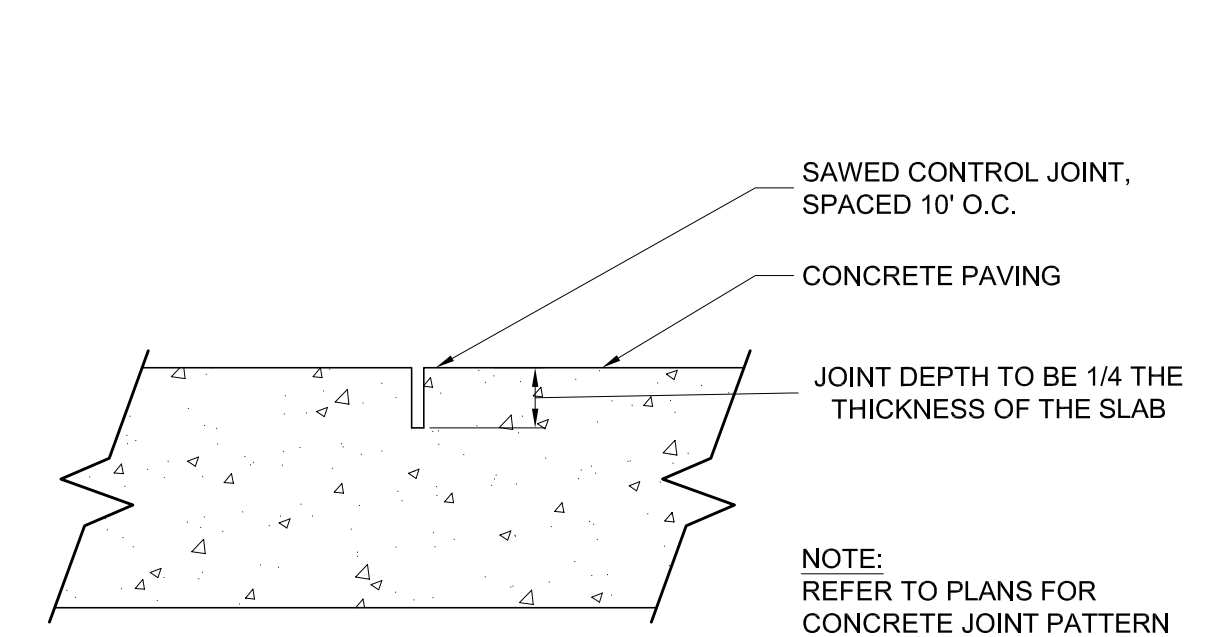
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2 HMA PAVEMENT - VEHICULAR  
 SCALE: 1" = 1'-0"



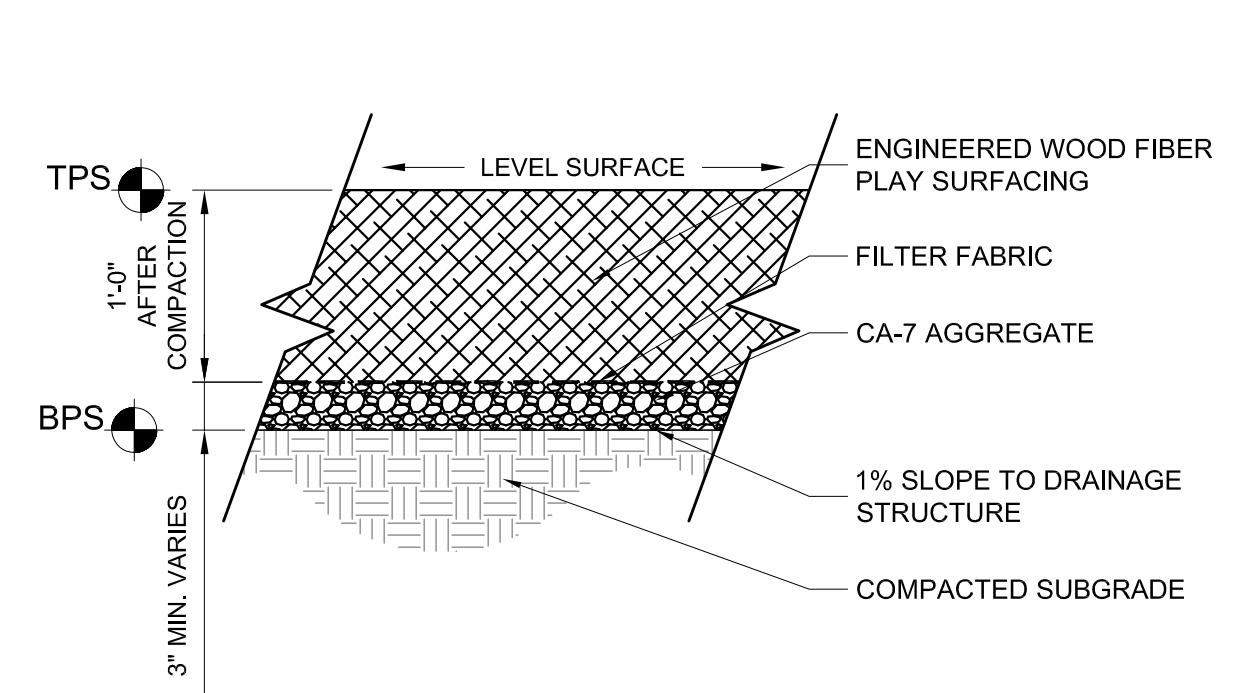
NOTES:  
 1. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH IDOT CLASS SI CONCRETE, NOT LESS THAN 3500 P.S.I. CONCRETE AT 14 DAYS.  
 2. SIDEWALK THICKNESS CROSS DRIVEWAY SHALL BE A MINIMUM 8".  
 3. REFER TO EXPANSION JOINT DETAIL.  
 4. THE TRANSVERSE JOINTS SHALL EXTEND TO 1/4 THE DEPTH OF THE SIDEWALK, SHALL NOT BE MORE THAN 1/4" IN WIDTH, AND SHALL BE EDGED HAVING A 1/4 INCH RADIUS. NO SLAB SHALL BE LONGER THAN 6 FEET NOR LESS THAN 4 FEET ON ANY ONE SIDE.

3 CONCRETE WALKS  
 SCALE: 1" = 1'-0"

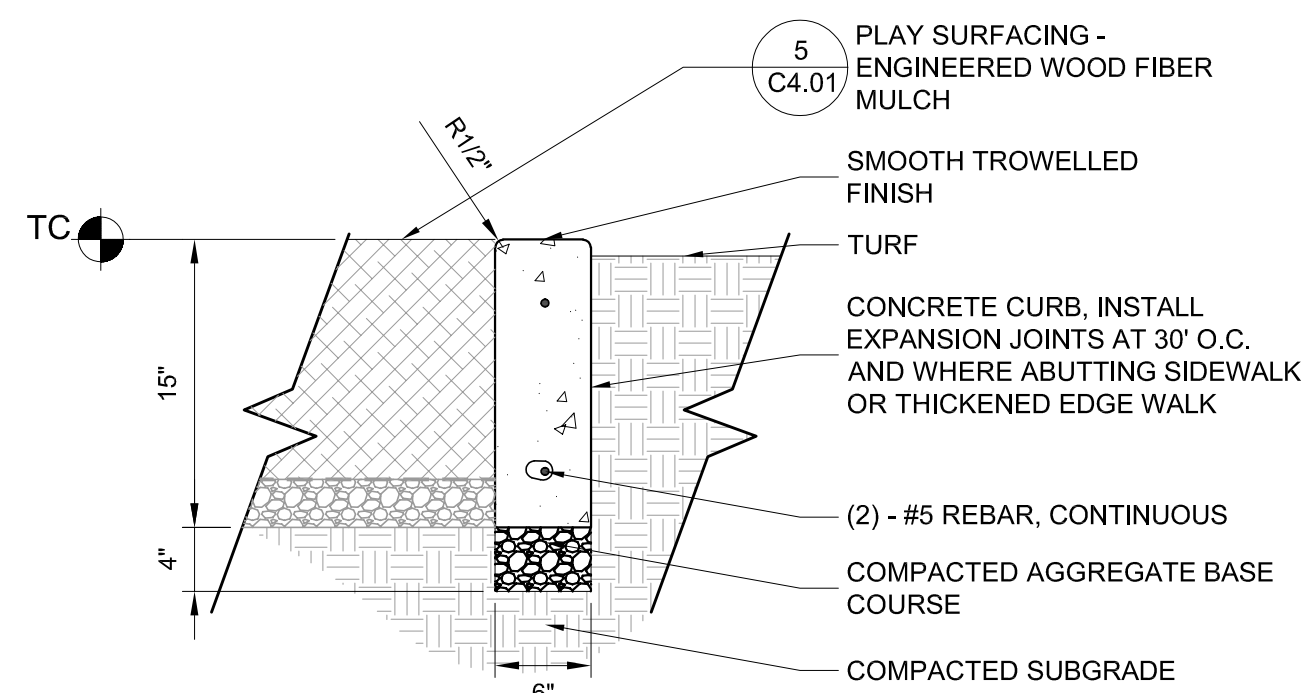


NOTE:  
 REFER TO PLANS FOR CONCRETE JOINT PATTERN

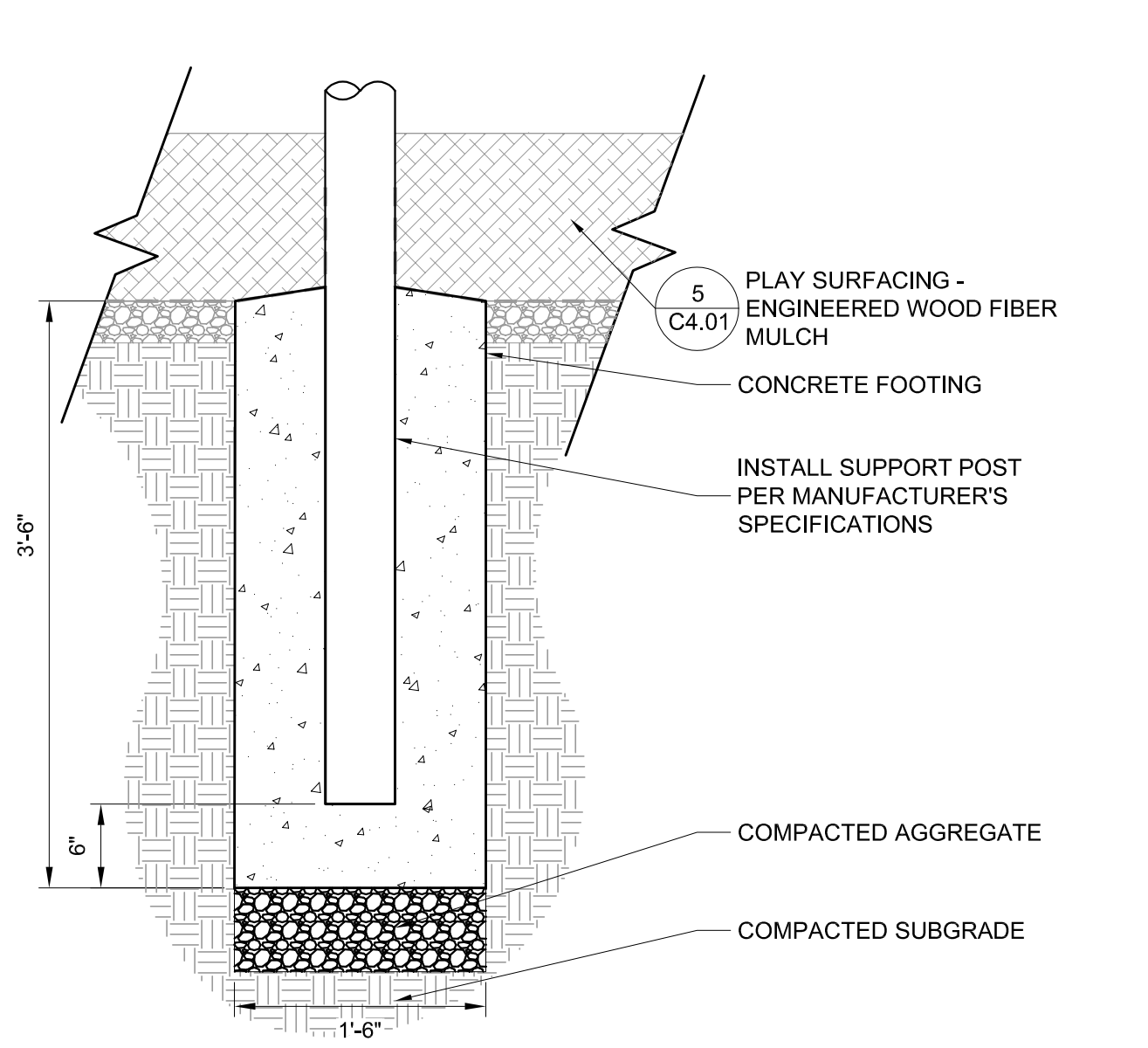
4 CONTROL JOINT  
 SCALE: 3" = 1'-0"



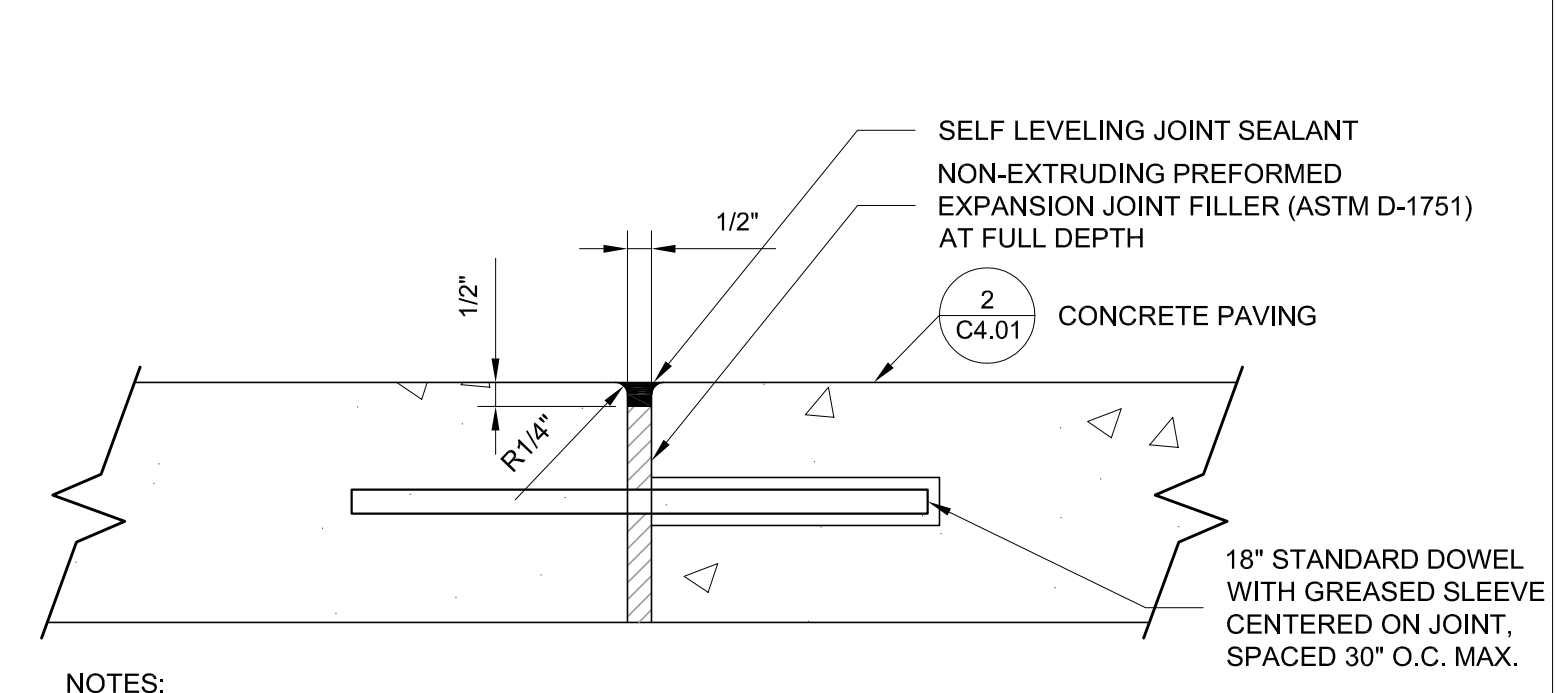
5 PLAY SURFACING - ENGINEERED WOOD FIBER MULCH  
 SCALE: 1" = 1'-0"



6 PLAYGROUND CURB  
 SCALE: 1" = 1'-0"

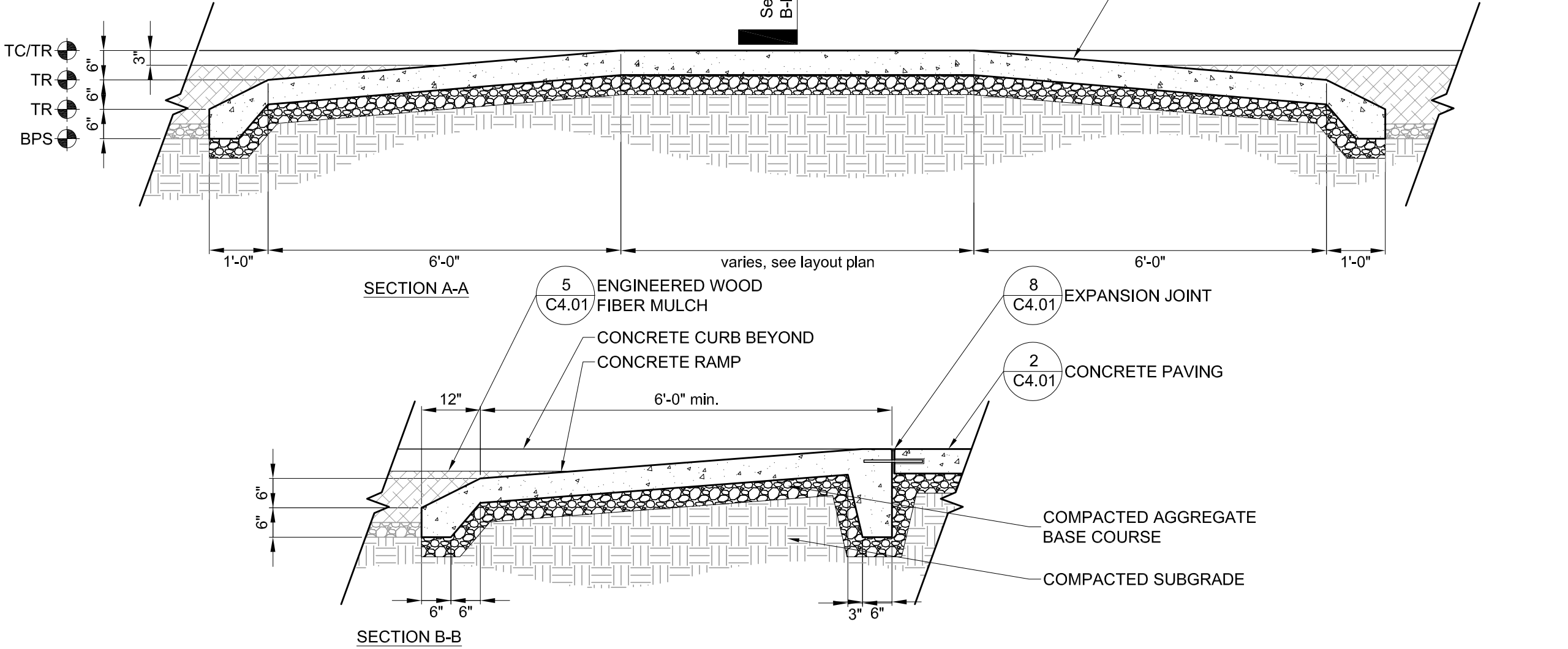
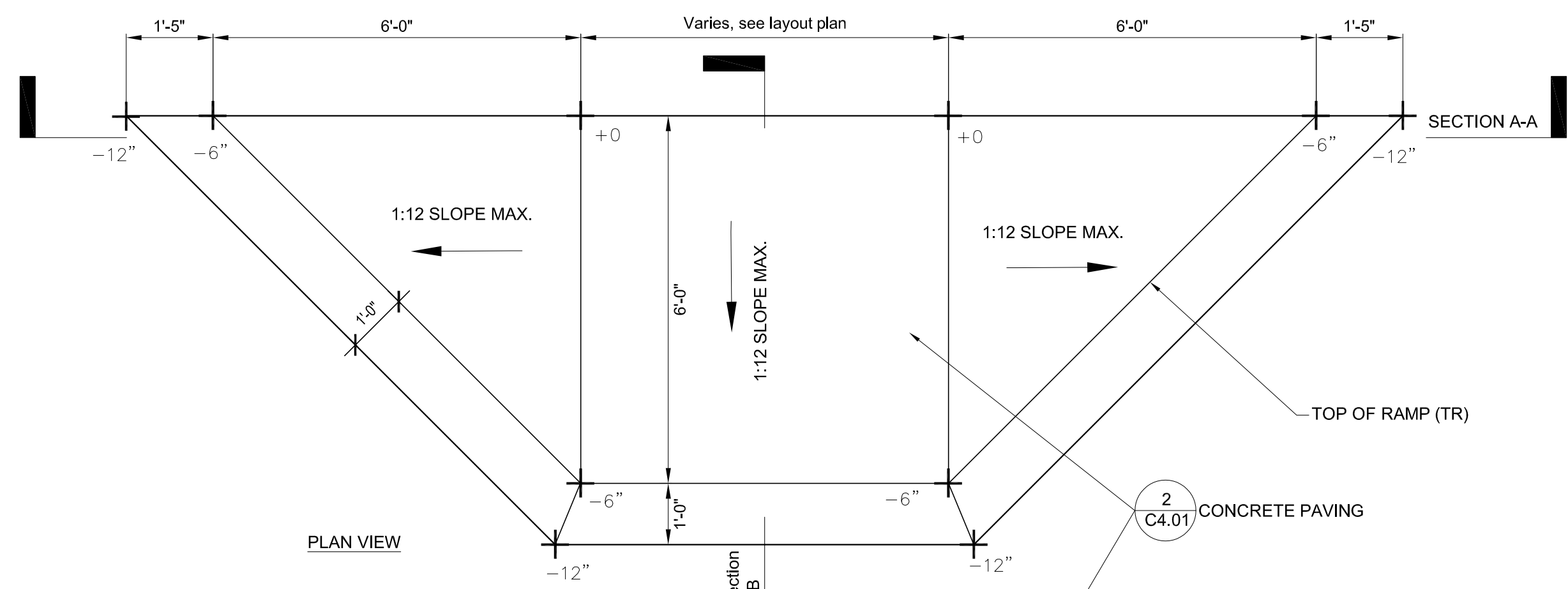


7 PLAY STRUCTURE FOOTING  
 SCALE: 1" = 1'-0"

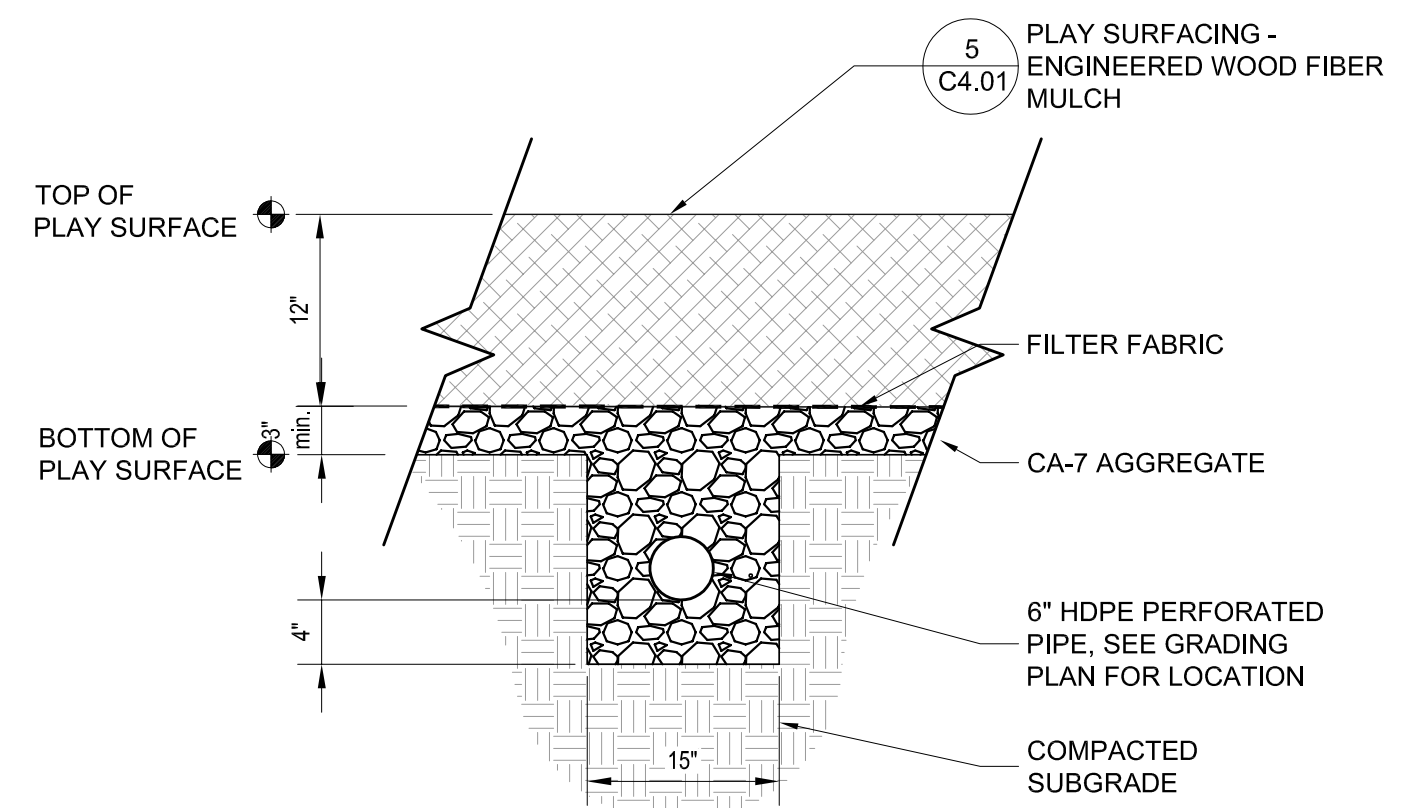


NOTES:  
 1. PREFORMED FLEXIBLE FOAM EXPANSION JOINT FILLER NOT ACCEPTED.  
 2. EACH EXPANSION JOINT SHALL HAVE (2) 3" DOWEL BARS, 18" LONG AND PROPERLY LUBRICATED, PLACED AT MID DEPTH.  
 3. EXPANSION JOINTS 3/4" THICK SHALL BE WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE, AT 50 FT INTERVALS FOR HAND POURS AND 100 FT INTERVALS FOR SLIP OR MONOLITHIC POURS.  
 4. EXPANSION JOINTS, 3/4" THICK SHALL BE AT EVERY P.C. & P.T. OF CURVATURE, 5 FT EACH SIDE OF STRUCTURES, AND AT END OF POURS.  
 5. PREFORMED EXPANSION JOINT 1/2" THICK SHALL BE PLACED BETWEEN THE SIDEWALK AND ALL STRUCTURES.  
 6. EXPANSION JOINTS SHALL ALSO BE PLACED WHERE THE SIDEWALK ABUTS EXISTING SIDEWALKS AND WHERE THE SIDEWALK ABUTS A CURB.  
 6. EXPANSION JOINTS SHALL ALSO BE PLACED WHERE THE CURB ABUTS EXISTING CURB.

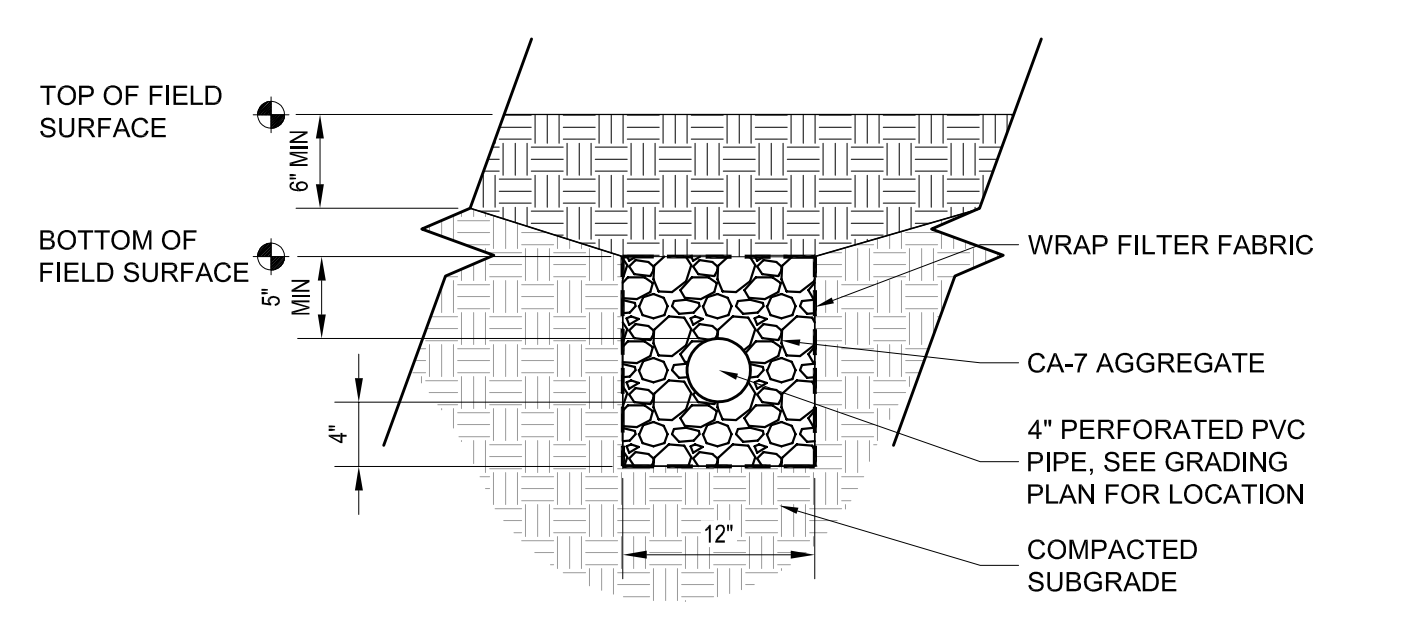
8 EXPANSION JOINT  
 SCALE: 3" = 1'-0"



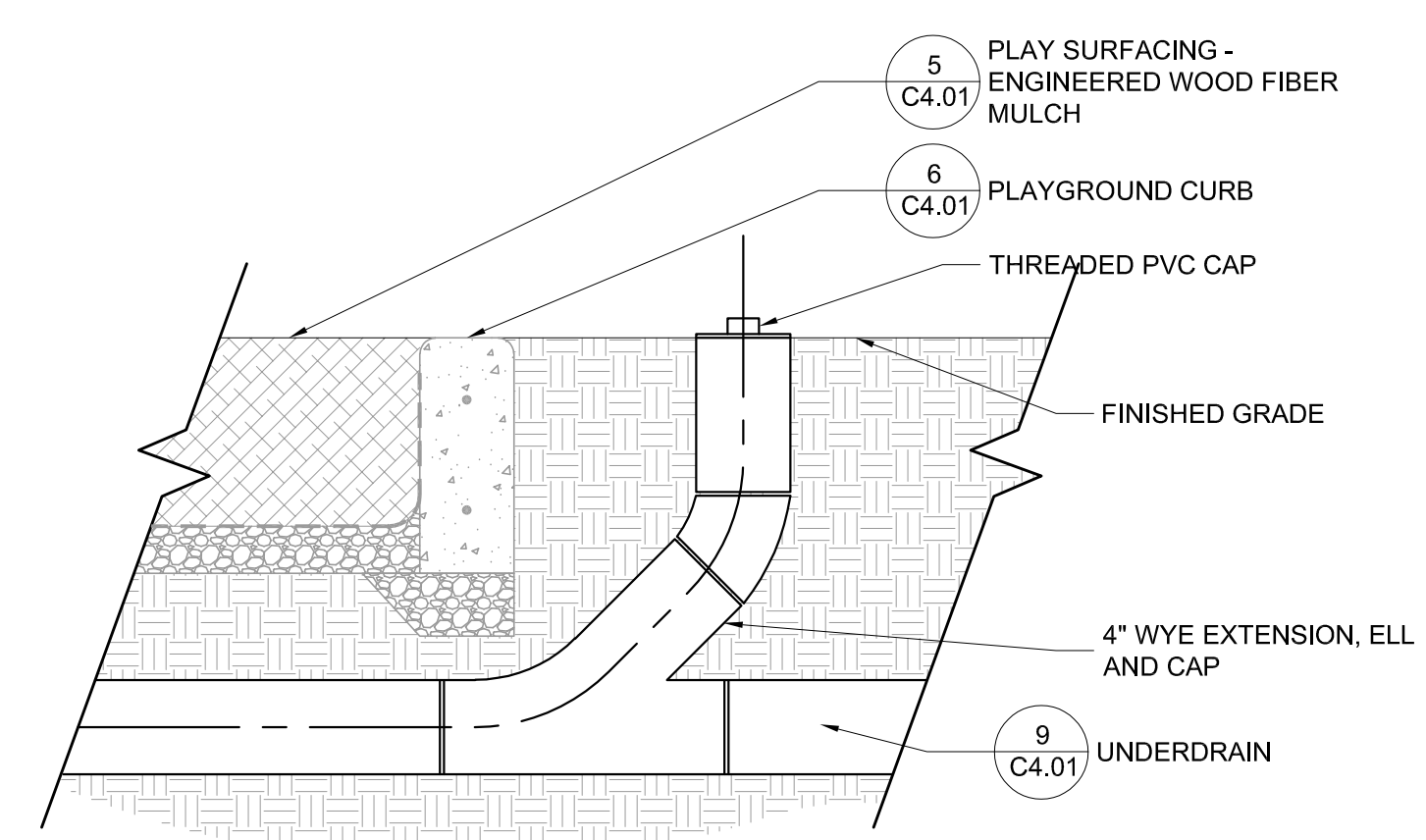
10 PLAYGROUND RAMP  
 SCALE: 1/2" = 1'-0"



9 UNDERDRAIN - PLAYGROUND  
 SCALE: 1" = 1'-0"



11 UNDERDRAIN - WEST FIELD  
 SCALE: 1" = 1'-0"



12 CLEANOUT  
 SCALE: 1" = 1'-0"



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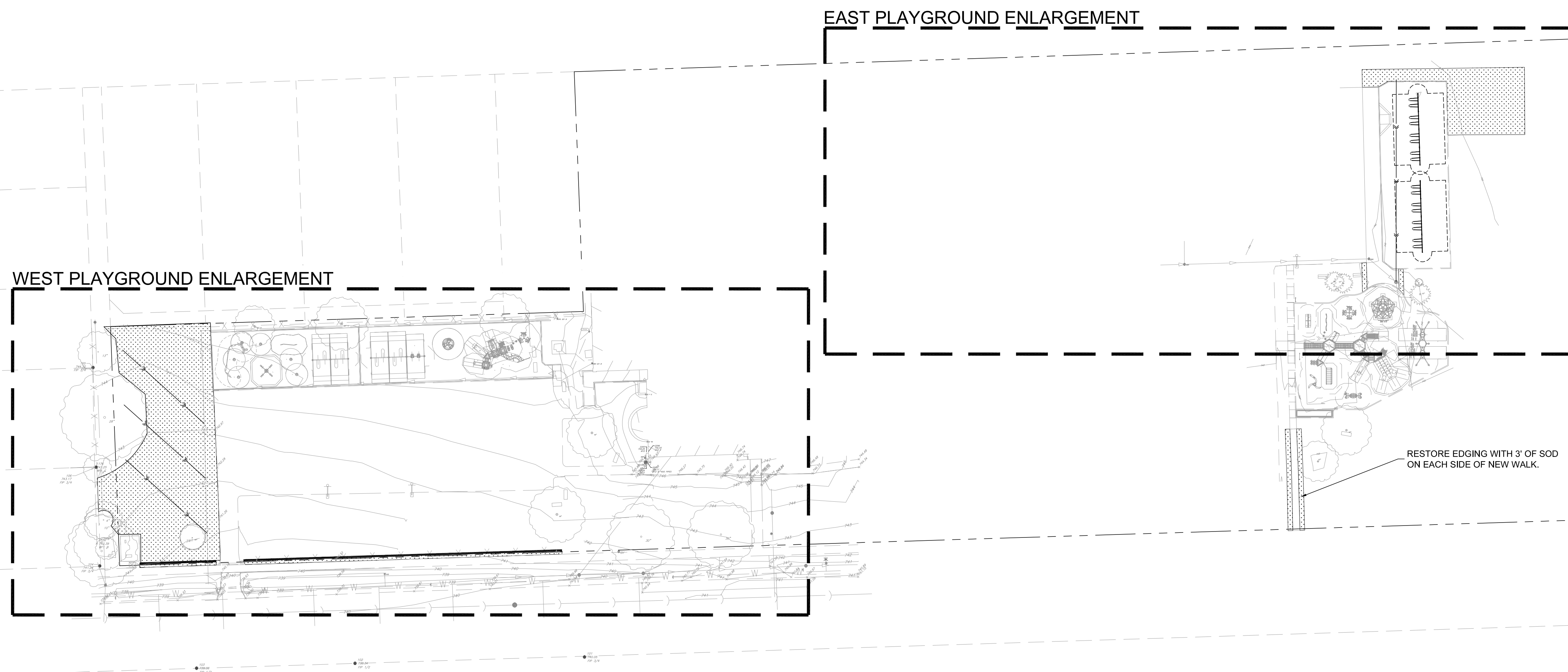
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 Downers Grove, IL 60515

**DETAILS**

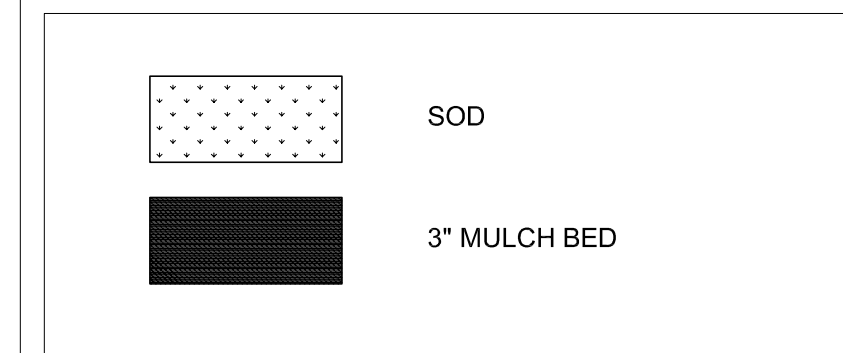
Project Number: 200036  
 Scale:   
 Drawn By: LB  
 Sheet:

**C4.01**

S:\Darien\Downers Grove SD58\200036\_Lester West Playground\01\11 Drawings\02 CD\200036 L1.00 LANDSCAPE PLAN.dwg Iremitz Jan 19, 2023 9:46:22 am  
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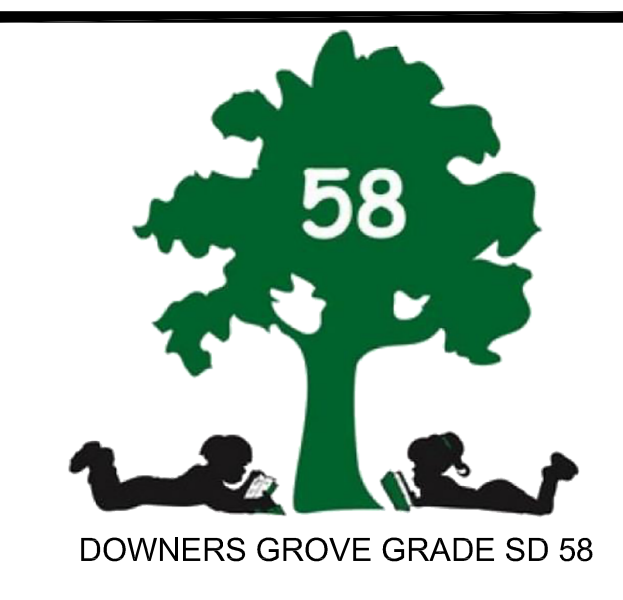


**LEGEND**



**LANDSCAPE NOTES**

- SOD LIMIT LINE IS APPROXIMATE. RESTORE TO LIMITS OF DISTURBANCE. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH), FERTILIZER, AND SOD AS SHOWN.
- CONTRACTOR RESPONSIBLE TO RESTORE ALL AREAS DISTURBED BY CONSTRUCTION, OUTSIDE SCOPE LIMIT, TO EXISTING CONDITION.
- THE CONTRACTOR SHALL PROTECT ALL TREES SHOWN ON THE PLANS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS SHOWN ON PLANS AND DETAILS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR WILL MAKE NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT.
- ALL PLANTING TECHNIQUES AND METHODS SHALL BE CONSISTENT WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AND AS DETAILED ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- TREES PLACED IN TURF AREAS WILL HAVE 6" DIA. MULCH RING WITH 3" DEEP SPADE CUT EDGE.
- TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM NEAREST LIGHT POLE.
- TREES SHALL BE INSTALLED A MINIMUM OF 5' HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES.
- TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO MANHOLES, VALVE VAULTS, VALVE BOXES, AND FIRE HYDRANTS.
- ANY AREA COMPACTED BY CONSTRUCTION TRAFFIC SHALL BE TILLED OR RESTORED TO ALLOW FOR SUITABLE PLANTING CONDITIONS.
- THE CROWNS AND ROOTS OF TREES WHICH ARE TO BE PRESERVED IN THE PROJECT AREA, BUT WHICH COULD BE NEGATIVELY AFFECTED DURING THE CONSTRUCTION PROCESS, SHALL BE PRUNED BY A QUALIFIED ARBORIST ACCORDING TO THE TREE PRUNING STANDARDS SET BY ANSI Z100 CODE.
- USE MWPD BIOSOLIDS FOR AMENDING TOPSOIL.
- CONTRACTOR SHALL INCLUDE DAILY WATERING FOR ALL SOD, FOR A 3-WEEK DURATION.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING EXISTING AND NEW TURF TO VILLAGE ORDINANCE STANDARDS DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES MOWING, WEED WHIPPING & TRASH REMOVAL.
- EXISTING TREES TO REMAIN SHALL HAVE A 6" DIAMETER MULCH RING INSTALLED WITH 3" DEEP SPADE CUT EDGE.
- CONTRACTOR RESPONSIBLE TO RESTORE CONSTRUCTION ENTRANCE WITH SOD.



**Wight**  
 Wight & Company  
 wightco.com  
 2500 North Frontage Road  
 Darien, IL 60561  
 P 630.969.7000  
 F 630.969.7979

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ISSUED FOR PERMIT	12/23/22	
REV	DESCRIPTION	DATE

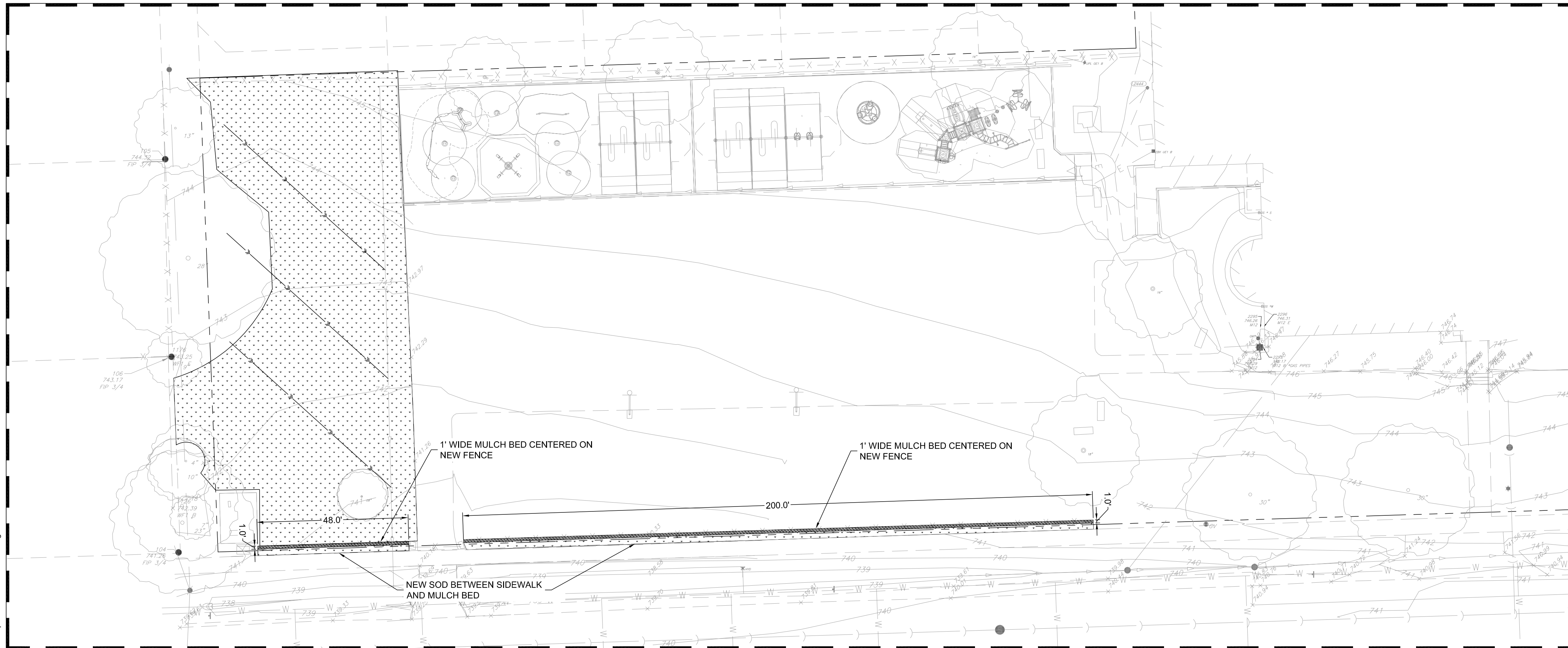
**LESTER  
 ELEMENTARY  
 SCHOOL**

236 Indianapolis Avenue  
 Downers Grove, IL 60515

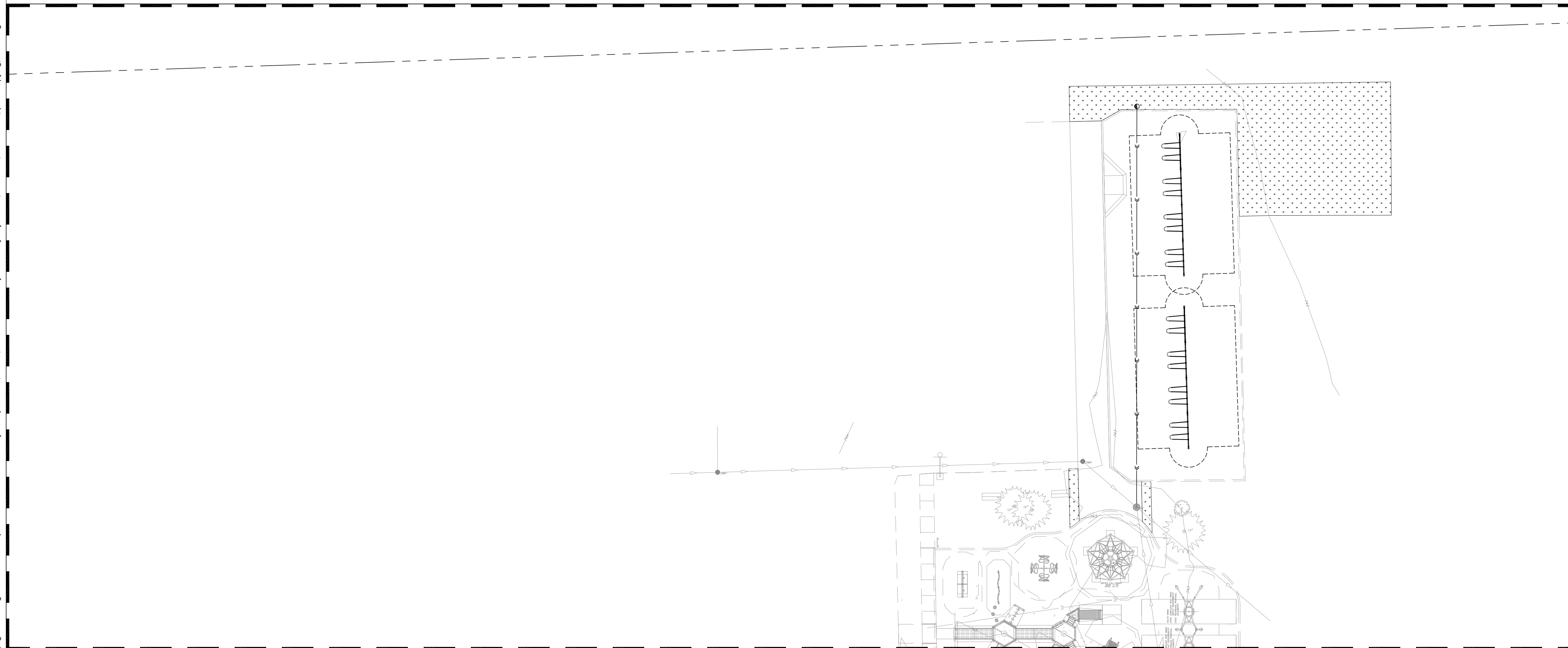
**OVERALL LANDSCAPE PLAN**

Project Number: 200036  
 Drawn By: LB  
 Sheet:  
 Scale: 1" = 40'  
  
  
**L1.00**

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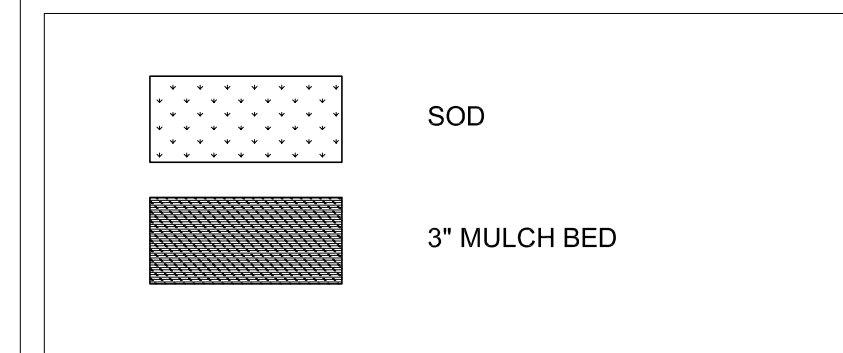


WEST PLAYGROUND ENLARGEMENT



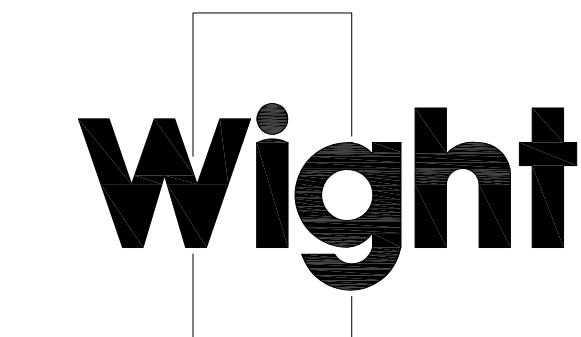
EAST PLAYGROUND ENLARGEMENT

**LEGEND**



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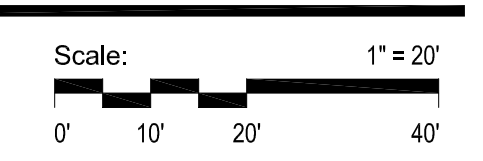
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**LANDSCAPE PLAN  
 ENLARGEMENTS**

Project Number: 200036  
 Drawn By: LB  
 Sheet: L1.01



**L1.01**